

Appendix B

Site Plans, Elevations, Renderings, and Landscaping Plan

APRIL 21 2021

dfh
architects
interiors
entitlements

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NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
COVER SHEET

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE

SHEET **A000**

Notice: drawings and specifications are for informational purposes only. Drawings shall not be used for construction. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their activities. This sheet must be submitted to the office for approval before proceeding with fabrication.

BUILDING CODE INFORMATION	
APPLICABLE CODES	TYPE OF CONSTRUCTION
2019 CALIFORNIA BUILDING CODE (BASED ON 2018 IBC)(CBC)	BUILDING TYPE 1-B (FULLY SPRINKLERED - NFPA 13 PER 903.3.1.1/903.3.1.2)
PROJECT WILL COMPLY WITH 2019 CALIFORNIA BUILDING CODE CHAPTER 11A.1.116 FOR ACCESSIBILITY REQUIREMENTS	SUBTERRANEAN PARKING TYPE I / A
2019 CALIFORNIA MECHANICAL CODE (BASED ON 2015 UMC)	OCCUPANCY
2019 CALIFORNIA PLUMBING CODE (BASED ON 2015 UPC)	R-2 APARTMENT
2019 CALIFORNIA ELECTRICAL CODE (I)	S-2 PARKING GARAGE
2019 CALIFORNIA GREEN BUILDING CODE	A-2 ASSEMBLY
2019 CALIFORNIA FIRE CODE (FC)	M-MERCANTILE
2019 CALIFORNIA REFERENCED STANDARDS CODE, PART 12 TITLE 24 C.C.R.	B-BUSINESS
2019 CALIFORNIA ENERGY CODE, TITLE 24, PART 6	
ARCHITECTURAL ABBREVIATIONS	ARCHITECTURAL SYMBOLS
A.C. Area Cabinet	Exterior Elevation
A.D. Area Drain	Elevation Mark
A.D.J. Adjustable	Building Section
A.G.R. Adjustable	Elevation Grade
A.L. Aluminum	Match Line
A.P.H. Appliance	North Arrow Property North
A.R.C.H. Architectural	Property Line
A.S.B. Asphalt	Break Line
A.S.P.H. Asphalt	New Dimension
A.S.P.H. Asphalt	Existing Dimension
B.D. Beant	
B.L.U.M. Blumous	
B.L.C. Block	
B.L.C.K. Blocking	
B.M. Beam	
B.O.T. Bottom	
C.A.B. Cabinet	
C.B. Cabin Beam	
C.E.M. Cement	
C.O. Outside Diameter (Dim.)	
C.I. Cast Iron	
C.L. Caulking	
C.L.G. Caulking	
C.L.D. Caulking	
C.L.R. Clear	
C.C. Concrete	
C.O.N.C. Concrete	
C.O.N.N. Construction	
C.O.N.S.T. Construction	
C.O.N.T. Counter	
C.O.R.R. Corrosion	
C.T.S.K. Countersunk	
C.H.T.S. Counter	
C.T.R. Center	
D.B.L. Double	
D.E.P.T. Department	
D.F. Drinking Fountain	
D.T.L. Detail	
D.M. Dimension	
D.S.P. Dispenser	
D.N. Down	
D.O. Door	
D.R. Door	
D.N.R. Drawer	
D.S. Downspout	
D.S.P. Dry Standpipe	
D.W.G. Drawing	
E. East	
E.A. Each	
E.B. Expansion Joint	
E.L.E.C. Electrical	
E.L.E.V. Elevator	
E.M.E.R. Emergency	
E.N.C.L. Enclosure	
E.P. Electrical Water Cooler	
EX.I.S.T. Existing	
EX.P. Exposed	
EX.T. Exterior	
F.A. Fire Alarm	
F.B. Flat Bar	
F.D. Floor Drain	
F.O.N. Foundation	
F.E. Fire Extinguisher	
F.F. Fire Extinguisher Cabinet	
F.N. Finish	
F.L. Floor	
F.L.A.S.H. Flashing	
F.L.U.O.R. Fluorescent	
F.O.C. Face of Concrete	
F.O.F. Face of Form	
F.O.S. Face of Studs	
F.P.F. Finish	
F.S. Fresh surface	
F.U.R. Furring	
F.U.T. Future	
G.A. Gage	
G.A.L.V. Galvanized	
G.B. Grab Bar	
G.L. Glass	
G.N.D. Ground	
G.R. Grade	
G.Y.P. Gypsum	
H.B. Hose Bibb	
H.C. Hollow Core	
H.O.W.D. Handwood	
H.M. Hollow Metal	
H.O.R.Z. Horizontal	
H.R. Hour	
H.C.T. Height	
H.P. High Point	
I.D. Inside Diameter (Dim.)	
I.N.S.U.L. Insulation	
I.N.T. Interior	
J.A.N. Janitor	
J.O.I.N.T. Joint	
W. West	
W.I.D. Width	
W.C. Water Closet	
W.C. Wood	
W.O. Without	
W.P. Waterproof	
W.S.C.T. Wallcoat	
W.S.T. Weight	

PLANNING CODE INFORMATION	
ZONING	REQUIREMENTS
Multifamily Residential Lot	R4B
Commercial Community Lot	CC1
SETBACKS- WHMC 19.10.040 Table 2-6	PROPOSED
COMMERCIAL	REQUIREMENTS
Front	none
Side	10 ft. If adjacent to a parcel in a residential zoning district, or more as necessary to provide a minimum separation of 15 ft. between commercial and residential structures; none required otherwise. This project is adjacent to a Residential zone only at the rear of the property.
Rear	10 ft. If adjacent to a parcel in a residential zoning district, or more as necessary to provide a minimum separation of 15 ft. between commercial and residential structures; none required otherwise. This project is adjacent to a Residential zone only at the rear of the property.
below 35' height	10'-0" (Req. Rear)
Rear above 35' height	10'-0" (Proposed)
Street side, corner lot	None minimum required; a maximum of 25 ft. is allowed
RESIDENTIAL	REQUIREMENTS
Front	Average of front setbacks of the 2 structures closest to the front property lines on the 2 adjacent parcels, with no maximum for lots located in R4B zone; if a parcel on either side of the site is not zoned residential, or if the site is a corner lot, the first two adjacent residential lots shall be used for the purposes of calculating the average setback. Average of 2 Adjacent residential lots: 14.42 + 13.69 = 2 = 14.1'
Side	5 ft.* For all lots: An additional 1 ft. setback is required for each story above the 2nd story. 5'-0" + 1" + 1" = 8'-0" Required @ 1 side
Rear	None required; Residential Lot and Commercial Lots are tied together
BUILDABLE AREA	
LOT AREA	
R4B	18,933 SF
CC1	42,164 SF
TOTAL	61,097 SF (1.4 Acres)
R4B ALLOWABLE DENSITY	PROPOSED
Per W.H.M.C. 1 du872 SF of lot area	# Units Allowed = Lot area/872 sf = 18,933sf /872sf = 21.7 = 22 Units
35% Density Bonus for affordable housing	22
TOTAL PROJECT UNITS ALLOWABLE	30
TOTAL PROJECT UNITS PROPOSED ON RESIDENTIAL LOT	30
R4B PROPOSED AREA	ALLOWABLE AREA (SF)
Level 1 R4B	7,257
Level 2 R4B	7,449
Level 3 R4B	7,445
Level 4 R4B	7,427
Level 5 R4B	6,422
TOTAL RESIDENTIAL UNIT AREA	36,000
AVERAGE UNIT AREA ALLOWABLE	1,200
AVERAGE UNIT AREA PROPOSED	1,200
Level -1 Storage	524
Level 1 Storage	2,091
Level 1.5 Storage	2,162
TOTAL RESIDENTIAL STORAGE AREA	4,777
CC1 ALLOWABLE DENSITY	FAR
CC1 Base FAR	1.50
*Mixed Use Bonus FAR	0.50
FAR before Density Bonus	2.00
*35% Density Bonus for affordable housing	0.70
FAR with Density Bonus	2.70
*Green Building Bonus FAR	0.10
Total CC1 FAR Permitted	2.80
PROGRAM SUMMARY FLOOR AREA	SF
BASEMENT PARKING (-1)	COMMERCIAL AND RESIDENTIAL PARKING 0
FIRST FLOOR (01)	COMMERCIAL USES AND COMMERCIAL PARKING 19,784
MEZZANINE (1.5)	RESIDENTIAL PARKING 897
SECOND FLOOR (02)	COMMERCIAL AND RESIDENTIAL USES 28,056
THIRD FLOOR (03)	RESIDENTIAL 25,809
FOURTH FLOOR (04)	RESIDENTIAL 24,053
FIFTH FLOOR (05)	RESIDENTIAL 19,460
TOTAL FOUR AREA PROPOSED ON COMMERCIAL LOT (CC1)	118,059
TOTAL RESIDENTIAL UNIT AREA ON R4B LOT	36,000
TOTAL RESIDENTIAL STORAGE AREA ON R4B LOT	4,777
TOTAL PROJECT FLOOR AREA	158,836
AFFORDABLE HOUSING CONCESSIONS	
1. AN ADDITIONAL STORY, NOT TO EXCEED 10 FEET	
2. AN EXTRA MEZZANINE LEVEL FOR RESIDENTIAL PARKING (VEHICLE AND BICYCLE) CONSISTING OF A PARTIAL LEVEL LOCATED ABOVE A PORTION OF THE FIRST FLOOR AND BELOW A PORTION OF THE SECOND FLOOR, OPEN TO THE FIRST FLOOR AND PREDOMINANTLY SUBTERRANEAN, AND CREATING NO GREATER VOLUME IN THE PROJECT'S ENVELOPE THAN THAT AUTHORIZED UNDER THE CODE (INCLUDING HEIGHT INCENTIVE AND CONCESSIONS)	

PROJECT INFORMATION	
PROJECT ADDRESS:	8555 SANTA MONICA BLVD. WEST HOLLYWOOD, CA 90069
LOT:	ASSESSOR PARCEL NO:
LOT 5	APN 4339-005-013
LOT 6	APN 4339-005-010
LOT 6	APN 4339-005-011
LOT 6	APN 4339-005-012
LOT 7	APN 4339-005-013
LOT 8-11	APN 4339-005-025
SHEET INDEX	
ARCHITECTURAL	ARCHITECTURAL
Sheet #	Sheet Title
A0.00	COVER SHEET
A0.01a	PROJECT DATA
A0.01b	PROJECT DATA
A0.01c	RESIDENTIAL UNITS INFO
A0.02a	GREEN BUILDING POINTS
A0.02b	GREEN BUILDING POINTS
A1.00	SURVEY
A1.00A	EXISTING BUILDING ELEVATION
A1.01	SITE PHOTOS
A1.02	SITE PHOTOS
A1.03	SITE PHOTOS
A1.06a	SHADOW STUDY
A1.06b	SHADOW STUDY
A1.07	MASSING MODEL
A1.09	AERIAL VIEW
A1.10	SITE PLAN
A1.14	NORTHEAST VIEW
A1.15	SOUTH FACADE VIEW
A1.16	PLAZA VIEW
A1.17	EAST FACADE VIEW
A1.18	WEST FACADE VIEW
A1.19	NORTHEAST VIEW
A2.00	SUBTERRANEAN PARKING
A2.01	FIRST FLOOR PLAN
A2.01-5	MEZZANINE LEVEL 1.5 FLOOR PLAN
A2.02	SECOND FLOOR PLAN
A2.03	THIRD FLOOR PLAN
A2.04	FOURTH FLOOR PLAN
A2.05	FIFTH FLOOR PLAN
BUILDING HEIGHT	
R4B HEIGHT	ALLOWABLE
Affordable Housing Height Bonus:	4 Stories, 45'-0"
Total R4B Height:	1 Story, 10'-0"
Total Number of Stories	55'-0" (5 Stories)
CC1 HEIGHT	
CC1 zoning:	ALLOWABLE
Mixed Use Height Bonus:	3 Stories, 35'-0"
Affordable Housing Height Bonus:	1 Story, 10'-0"
Total CC1 Height:	1 Story, 10'-0"
Total Number of Stories	65'-0" (5 Stories)
INCLUSIONARY HOUSING W.H.M.C. 19.22.030	
*Projects of Ten or Fewer Units, One unit.	
**Projects of Forty-one Units or More. Twenty percent of the unit count provided as units of comparable size and finish quality to the non-inclusionary units, or if it would result in additional inclusionary units and units that better serve the affordable housing needs of the City, 20 percent of the gross residential floor area of all non-inclusionary units. If the floor area calculation is used, units provided shall be a minimum of one bedroom and a minimum interior area of 650 square feet with finishes and appliances of "builders grade" or better.	
# UNITS ALLOWED / REQ.	# UNITS PROPOSED
Baseline Units in CC1 zone	60
Moderate Income Unit	6
Very Low Income Units	6
TOTAL INCLUSIONARY HOUSING UNITS IN CC1 ZONE	12
BONUS UNITS IN CC1 ZONE	21
TOTAL UNITS IN CC1 ZONE	81
Baseline Units in R4B zone	22
Moderate Income Unit	1
Low Income Units	4
TOTAL INCLUSIONARY HOUSING UNITS IN R4B ZONE	5
BONUS UNITS IN R4B ZONE	8
TOTAL UNITS IN R4B ZONE	30
TOTAL PROJECT UNITS	
TOTAL MARKET RATE UNITS ON CC1 & R4B LOT	94
TOTAL INCLUSIONARY HOUSING UNITS	17
TOTAL PROJECT UNITS	111

VICINITY MAP

PROJECT SITE

NORTH

AERIAL MAP N.T.S.

VICINITY MAP N.T.S.

LANDSCAPE

L-1.0	1ST GROUND FLOOR LANDSCAPE PLAN	
L-1.1	2ND FLOOR LANDSCAPE PLAN	
L-1.2	3RD FLOOR LANDSCAPE PLAN	
L-1.3	4TH FLOOR LANDSCAPE PLAN	
L-1.4a	5TH FLOOR LANDSCAPE PLAN	
L-1.4b	5TH RESIDENTIAL FLOOR LANDSCAPE PLAN	
L-1.5	ROOF LANDSCAPE PLAN	
L-1.6	PROPOSED PLANT MATERIAL	

NOT FOR CONSTRUCTION

JOB TITLE
SANTA MONICA & WEST KNOLL MIXED USE BUILDING

JOB ADDRESS
8555 SANTA MONICA BLVD WEST HOLLYWOOD, CA 90069

SHEET TITLE
PROJECT DATA

ISSUED FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE
A0.01a

A0.01a

PARKING REQUIRED			
PARKING REQUIREMENTS W.H.M.C. 19.28.040 & 19.22.050			
RESIDENTIAL PARKING REQUIREMENTS FOR CC1 LOT:			
*Indiscretionary Housing Parking Incentive: Parking Incentives, Density bonus housing development shall be granted the following parking space requirements when requested by the developer, inclusive of handicapped, which shall be granted to all units in the development:			
Number of Bedrooms Parking Space Per Unit			
1 Bedroom:	1		
2-3 Bedrooms:	2		
4 or more Bedrooms:	2.5		
RESIDENTIAL PARKING REQUIREMENTS FOR R4B LOT:			
Number of Bedrooms Parking Space Per Unit			
1 Bedroom:	1		
2-3 Bedrooms:	1.5		
4 or more Bedrooms:	2.5		
Guest parking: 0			
ROUNDING			
Rounding of Quantities. When calculating the number of parking spaces required, fractional spaces equal to or greater than one-half shall be rounded up to the nearest whole number and fractions less than one-half shall be eliminated.			
FLOOR LEVEL			
FLOOR (1) CC1 Required Parking			
RESTAURANT	AREA	RATIO/1000SF	TOTAL
RETAIL	3,938	9	35
	14,488	3.5	51
	TOTAL PARKING		86
FLOOR (2) CC1 (1) RB4 Required Parking			
CREATIVE OFFICE	AREA/UNITS	RATIO/1000SF	TOTAL
HAIR SALON	6,711	3.5	23
LIVE/WORK	3,643	5	18
STUDIO	15,494	3.5	54
2 BEDROOM	0	1	0
	6	2	12
	TOTAL PARKING		107
FLOOR (3) CC1 (2) RB4 Required Parking			
STUDIO	# UNITS	PER UNIT	TOTAL
1 BEDROOM	2	1	2
2 BEDROOM	11	1	11
	22	2	44
	TOTAL PARKING		57
FLOOR (4) CC1 (3) RB4 Required Parking			
STUDIO	# UNITS	PER UNIT	TOTAL
1 BEDROOM	0	1	0
2 BEDROOM	16	1	16
	18	2	36
	TOTAL PARKING		52
FLOOR (5) CC1 (4) RB4 Required Parking			
STUDIO	# UNITS	PER UNIT	TOTAL
1 BEDROOM	4	1	4
2 BEDROOM	14	1	14
	12	2	24
	TOTAL PARKING		42
FLOOR (6) RB4 Required Parking			
2 BEDROOM	# UNITS	PER UNIT	TOTAL
	6	2	12
	TOTAL PARKING		12
TOTAL COMMERCIAL PARKING SPACES REQUIRED			
TOTAL LIVE/WORK PARKING SPACES REQUIRED			
CC1 LOT RESIDENTIAL PARKING SPACES REQUIRED			
RB4 LOT RESIDENTIAL PARKING SPACES REQUIRED			
TOTAL PARKING REQUIRED FOR PROJECT			
ADA SPACES REQUIRED/PROVIDED			
ADA SPACES REQUIRED	REQ.	PROVIDED	TOTAL
Commercial ADA Parking 151-200	6	6	10
Residential ADA Parking 2% OF 175=3.5	4	4	
PARKING SUMMARY			
PARKING REQUIREMENTS W.H.M.C. 19.28.040 & 19.22.050			
Program	AREA/NO.	RATIO/1000S	TOTAL
	F		
RESTAURANT	3,938	9	35
RETAIL	14,488	3.5	51
CREATIVE OFFICE	6,711	3.5	23
HAIR SALON	3,643	5	18
LIVE/WORK	15,494	3.5	54
STUDIO	6	1	6
1 BEDROOM	41	1	41
2 BEDROOM	64	2	128
	TOTAL COMMERCIAL SPACES REQUIRED		127
	TOTAL LIVE/WORK SPACES REQUIRED		54
	TOTAL RESIDENTIAL SPACES REQUIRED FOR CC1 LOT		115
	TOTAL RESIDENTIAL SPACES REQUIRED FOR RB4 LOT		60
	TOTAL PARKING REQUIRED FOR PROJECT		356
PROVIDED PARKING: TYPE			
COMMERCIAL	LEVEL -1	LEVEL 1	MEZZ. LVL 1.5
	94	23	0
LIVE/WORK SINGLE	0	0	0
LIVE/WORK IN TANDEM	0	54	0
RESIDENTIAL SINGLE	20	1	26
RESIDENTIAL IN TANDEM	62	4	62
	TOTAL		346
COMMERICAL DEVELOPMENT REQUIREMENTS			
SHOWER AND DRESSING SPACE REQUIREMENTS			
1. A minimum of one shower facility shall be provided in new projects with a gross floor area between 10,000 and 24,999 square feet, two showers in projects between 25,000 square feet and 124,999 square feet, and four showers for any project over 125,000 square feet. Dressing areas shall be provided for shower facilities.			
2. Lockers for clothing and other personal effects shall be located in close proximity to showers and dressing areas to permit access to locker areas by either gender. A minimum of one clothes locker shall be provided for each employee bicycle parking space required.			
PROGRAM			
Commercial Area (Retail, Restaurant, Office, Hair salon) for Showers	#REQ. /PROPOSED	LEVEL -1	LEVEL 1
	28,780	2	1
Commercial Employee Bike spaces Required = # Lockers Required (6 Employee bike spaces prov.)		6	3

PARKING PROVIDED				
PROVIDED PARKING: TYPE	LEVEL -1	LEVEL 1	MEZZ. LVL 1.5	TOTAL
COMMERCIAL	94	23	0	117
LIVE/WORK SINGLE	0	0	0	0
LIVE/WORK IN TANDEM	0	54	0	54
RESIDENTIAL SINGLE	20	1	26	47
RESIDENTIAL IN TANDEM	62	4	62	128
	TOTAL		88	346
TYPE INCLUDED ABOVE				
COMMERCIAL COMPACT	LEVEL -1	LEVEL 1	MEZZ. LVL 1.5	TOTAL
	8	16	0	24
COMMERCIAL STANDARD	85	3	0	88
COMMERCIAL MOD. STANDARD	1	4	0	5
LIVE/WORK COMPACT	0	1	0	1
LIVE/WORK STANDARD	0	17	0	17
LIVE/WORK MOD. STANDARD	0	36	0	36
RESIDENTIAL COMPACT	10	1	5	16
RESIDENTIAL STANDARD	26	0	43	69
RESIDENTIAL MOD. STANDARD	46	4	40	90
	TOTAL		83	346
COMPACT SPACES INCLUDED ABOVE				
COMPACT / MODIFIED STANDARD INCL. ABOVE	LEVEL -1	LEVEL 1	MEZZ. LVL 1.5	TOTAL
	65	62	45	172
PERCENTAGE OF TOTAL COMPACT CARS TO TOTAL NUMBER OF PARKING PROVIDED: 172 : 346 = 49.4% > 50%				
ADA SPACES INCLUDED ABOVE				
COMMERCIAL ADA INCL. ABOVE	LEVEL -1	LEVEL 1	MEZZ. LVL 1.5	TOTAL
	6	0	0	6
RESIDENTIAL ADA INCL. ABOVE	1	0	3	4
	TOTAL		10	
RB4 LOT RESIDENTIAL PARKING INCLUDED ABOVE				
30 (2 BEDROOMS)	Required	Provided		
	2 PER UNIT	60		
	TOTAL		60	

ELECTRIC VEHICLE CHARGING SPACES		
EV Charging spaces required	Required	Provided
Commercial 171 cars (171 x 10% = 17.1=18 EV)	18	18
Residential 175 cars (175 x 10% = 17.5 = 18 EV)	18	18
LOADING		
LOADING SPACE REQUIREMENTS W.H.M.C. 19.23.160		
Type of Land Use	Total Gross Floor Area	Loading Spaces Required
Office uses	Less than 20,000 sq. ft.	0
Retail and other allowed commercial uses	20,001 sq. ft. and more	1 for every 20,000 sq. ft. or fraction thereof
	Total Office Area	6,711
	Total Retail, Restaurant, Hair salon, Live/work Area	37,563
	TOTAL LOADING REQUIRED	2
	TOTAL LOADING PROPOSED	2

BICYCLE PARKING				
BICYCLE SPACE REQUIREMENTS W.H.M.C. 19.28.150				
PROGRAM	#REQ. /PROPOSED	LEVEL -1	LEVEL 1	MEZZ. LVL 1.5
Residential Units	111	28	113	9
Commercial Employees	44,274	6	6	
Commercial Visitors	44,274	5	5	
	TOTAL REQUIRED	39	119	5
	TOTAL PROPOSED	133		

SOLID WASTE AND RECYCLING				
SOLID WASTE AND RECYCLING REQUIREMENTS W.H.M.C. 19.20.180				
*Individual Unit Storage Requirements for residential units. Each dwelling unit shall be designed to include a space with a minimum of three cubic feet for the storage of solid waste and three cubic feet for the storage of recyclable material				
SOLID WASTE AND RECYCLING REQUIREMENTS (SQ. FT)				
RESIDENTIAL	SOLID WASTE	RECYCLING	COMPOST	TOTAL
101-125 UNITS	240	240	-	480
NON-RESIDENTIAL				
RESIDENTIAL	SOLID WASTE	RECYCLING	COMPOST	TOTAL
25,001-50,000	96	96	35	227

DETAILED PROGRAM INFORMATION							
FLOOR LEVEL		PROGRAM		SF			
BASEMENT PARKING							
AREA NOT INCLUDED IN FAR				PARKING LEVEL -1 (NOT INCLUDED IN FAR)	53,509	NONRESIDENTIAL	RESIDENTIAL
TOTAL FLOOR AREA (NOT INCLUDED IN FAR)					53,509		
FLOOR (01) Area CC1 Lot							
AREA NOT INCLUDED IN FAR				PARKING LEVEL (NOT INCLUDED IN FAR)	32,337		
FLOOR AREA INCLUDED IN FAR				RESTAURANT	3,938	2.5%	
				RETAIL	14,488	9.1%	
				SHOWER/LOCKER	115	0.1%	
				COMMERCIAL WASTE / RECYCLING	227	0.1%	
				COMMERCIAL CIRCULATION (INCLUDES STAIRS, ELEVATORS, CORR.)	1,016	0.6%	
				TOTAL INCLUDED IN FAR CALC. (CC1 LOT)	19,784		
FLOOR MEZZ. FLOOR (1.5) Area CC1 Lot							
AREA NOT INCLUDED IN FAR				PARKING LEVEL 1.5 (NOT INCLUDED IN FAR)	27,373		
FLOOR AREA INCLUDED IN FAR				RESIDENTIAL ELECTRICAL	317		0.2%
				RESIDENTIAL TRASH/RECYCLING AREA	480		0.3%
				COMMERCIAL ELECTRICAL	100		0.1%
				TOTAL INCLUDED IN FAR CALC. (CC1 LOT)	897		
FLOOR (02) Area CC1 Lot / FLOOR (01) Area R4B Lot							
FLOOR AREA INCLUDED IN FAR				CREATIVE OFFICE	6,711	4.2%	
				LIVE/WORK	15,494	9.8%	
				HAIR SALON	3,643	2.3%	
				RESIDENTIAL RECREATION ROOM	892		0.6%
				RES./COMM. CIRC. (SHARED INCLUDES STAIRS, ELEVATORS)	328		0.1%
				RESIDENTIAL LOBBY	833		0.5%
				RESIDENTIAL CIRCULATION (INCLUDES ELEVATORS, TRASH)	155		0.1%
				TOTAL INCLUDED IN FAR CALC. (CC1 LOT)	28,056		
				RESIDENTIAL NOT INCLUDED IN FAR CALC. (R4B LOT)	7,257		4.6%
FLOOR (03) Area CC1 Lot / FLOOR (02) Area R4B Lot							
FLOOR AREA INCLUDED IN FAR				RESIDENTIAL UNITS (12 ONE BEDROOM & 21 TWO BEDROOM UNITS)	25,387		16.0%
				RESIDENTIAL CIRCULATION (INCLUDES STAIRS, ELEV., TRASH)	422		0.3%
				TOTAL INCLUDED IN FAR CALC. (CC1 LOT)	25,809		
				RESIDENTIAL NOT INCLUDED IN FAR CALC. (R4B LOT)	7,449		4.7%
FLOOR (04) Area CC1 Lot / FLOOR (03) Area R4B Lot							
FLOOR AREA INCLUDED IN FAR				RESIDENTIAL UNITS (15 ONE BEDROOM & 17 TWO BEDROOM UNITS)	23,633		14.9%
				RESIDENTIAL CIRCULATION (INCLUDES STAIRS, ELEV., CORR. TRASH)	420		0.3%
				TOTAL INCLUDED IN FAR CALC. (CC1 LOT)	24,053		
				RESIDENTIAL NOT INCLUDED IN FAR CALC. (R4B LOT)	7,445		4.7%
FLOOR (05) Area CC1 Lot / FLOOR (04) Area R4B Lot							
FLOOR AREA INCLUDED IN FAR				RESIDENTIAL UNITS (13 ONE BEDROOM & 14 TWO BEDROOM UNITS)	19,046		12.0%
				RESIDENTIAL CIRCULATION (INCLUDES STAIRS, ELEV., CORR. TRASH)	414		0.3%
				TOTAL INCLUDED IN FAR CALC. (CC1 LOT)	19,460		
				RESIDENTIAL NOT INCLUDED IN FAR CALC. (R4B LOT)	7,427		4.7%
FLOOR (06) Area R4B Lot							
				RESIDENTIAL NOT INCLUDED IN FAR CALC. (R4B LOT)	6,422		4.0%
PROJECT FLOOR AREA PROPOSED							
TOTAL FLOOR AREA PROPOSED ON CC1 LOT				116,059			
COMMERCIAL TOTAL FLOOR AREA PROPOSED ON CC1 LOT				45,896		28.9%	
RESIDENTIAL TOTAL FLOOR AREA PROPOSED ON CC1 LOT				72,163			
TOTAL FLOOR AREA PROPOSED ON R4B LOT				36,000			71.1%
TOTAL RESIDENTIAL STORAGE AREA ON R4B LOT				4,777			
TOTAL PROJECT FLOOR AREA PROPOSED				158,836		100.0%	
RESIDENTIAL OPEN SPACE							
COMMON OPEN SPACE							
Common Open space Required for 31+ units (19.28.200). Min dimension: 15'; 100% open to the sky; 50% located on first habitable level (Lvl 2)							
		LOCATION		AREA OPEN TO SKY W/ 15' MIN DIMENSION			
				Level 2 - Common Open Space 1			
				Level 2 - Common Open Space 2			
				Level 2 - Common Open Space 3			
				Level 2 - Common Open Space 4			
		TOTAL REQ = 2,000SF		TOTAL PROVIDED			
		**Level 2 - Additional Open Space		5,258			
				**TOTAL			
				7,258			
*Includes area that does not meet both requirements of being open to the sky and/or 15' min. dimension							
FOR COMMON OPEN SPACES PROVIDED SEE SHEET A2.02							
PRIVATE OPEN SPACE							
120 of Private Open Space Required for per unit Min dimension: 7'; 33% Open Perimeter							
		TOTAL PRIVATE OPEN SPACE REQUIRED (120 x 111) =		13,320			
FOR DETAILED PRIVATE OPEN SPACES PROVIDED SEE SHEET A0.01c							
TOTAL PRIVATE OPEN SPACE PROVIDED							
22,483							

NOT FOR CONSTRUCTION

JOB TITLE
SANTA MONICA & WEST KNOLL
MIXED USE BUILDING

JOB ADDRESS
8555 SANTA MONICA BLVD
WEST HOLLYWOOD, CA 90069

SHEET TITLE
PROJECT DATA

ISSUED FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE
A0.01b

SHEET

NET AREA IS MEASURED FROM FINISH TO FINISH

RESIDENTIAL NET AREA				
COUNT	UNIT TYPE	UNIT #	NET AREA	PRIVATE O.S

level 2 -

R4B 1ST RESIDENTIAL FLOOR

1	2BEDROOM	220	1,176 SF	207 SF
2	2BEDROOM	221	1,161 SF	120 SF
3	2BEDROOM	222	1,186 SF	126 SF
4	2BEDROOM	223	1,118 SF	120 SF
5	2BEDROOM	224	1,269 SF	141 SF
6	2BEDROOM	225	1,242 SF	136 SF
			7,154 SF	851 SF

level 3 -

CC1

7	2BEDROOM	301	854 SF	140 SF
8	1BEDROOM	302	803 SF	132 SF
9	1BEDROOM	303	792 SF	139 SF
10	1BEDROOM	304	803 SF	132 SF
11	1BEDROOM	305	803 SF	127 SF
12	2BEDROOM	306	918 SF	153 SF
13	2BEDROOM	307	854 SF	142 SF
14	2BEDROOM	308	853 SF	141 SF
15	STUDIO	309	435 SF	145 SF
16	2BEDROOM	310	1,721 SF	968 SF
17	2BEDROOM	311	1,093 SF	126 SF
18	2BEDROOM	312	1,026 SF	134 SF
19	2BEDROOM	313	981 SF	137 SF
20	1BEDROOM	314	693 SF	128 SF
21	1BEDROOM	315	588 SF	134 SF
22	1BEDROOM	316	757 SF	122 SF
23	1BEDROOM	317	613 SF	158 SF
24	1BEDROOM	318	562 SF	134 SF
25	1BEDROOM	319	549 SF	120 SF
26	1BEDROOM	320	761 SF	133 SF
27	2BEDROOM	321	897 SF	206 SF
28	2BEDROOM	322	954 SF	216 SF
29	2BEDROOM	323	954 SF	218 SF
30	2BEDROOM	324	915 SF	128 SF
31	2BEDROOM	325	861 SF	131 SF
32	2BEDROOM	326	863 SF	132 SF
33	2BEDROOM	327	863 SF	133 SF
34	2BEDROOM	328	1,056 SF	341 SF
35	STUDIO	329	410 SF	126 SF

R4B 2ND RESIDENTIAL FLOOR -

36	2BEDROOM	330	1,277 SF	164 SF
37	2BEDROOM	331	1,168 SF	139 SF
38	2BEDROOM	332	1,224 SF	186 SF
39	2BEDROOM	333	1,130 SF	148 SF
40	2BEDROOM	334	1,293 SF	137 SF
41	2BEDROOM	335	1,242 SF	191 SF
			31,568 SF	6,141 SF

RESIDENTIAL NET AREA				
COUNT	UNIT TYPE	UNIT #	NET AREA	PRIVATE O.S

level 4 -

CC1

42	2BEDROOM	401	818 SF	210 SF
43	1BEDROOM	402	776 SF	146 SF
44	1BEDROOM	403	746 SF	184 SF
45	1BEDROOM	404	776 SF	143 SF
46	1BEDROOM	405	776 SF	143 SF
47	2BEDROOM	406	828 SF	155 SF
48	2BEDROOM	407	829 SF	162 SF
49	2BEDROOM	408	824 SF	144 SF
50	2BEDROOM	409	825 SF	164 SF
51	2BEDROOM	410	1,597 SF	537 SF
52	2BEDROOM	411	1,093 SF	134 SF
53	2BEDROOM	412	1,025 SF	121 SF
54	2BEDROOM	413	985 SF	132 SF
55	1BEDROOM	414	698 SF	134 SF
56	1BEDROOM	415	589 SF	126 SF
57	1BEDROOM	416	754 SF	125 SF
58	1BEDROOM	417	620 SF	158 SF
59	1BEDROOM	418	563 SF	134 SF
60	1BEDROOM	419	550 SF	120 SF
61	1BEDROOM	420	618 SF	122 SF
62	1BEDROOM	421	733 SF	170 SF
63	2BEDROOM	422	924 SF	127 SF
64	2BEDROOM	423	924 SF	138 SF
65	2BEDROOM	424	919 SF	136 SF
66	1BEDROOM	425	661 SF	233 SF
67	1BEDROOM	426	661 SF	279 SF
68	1BEDROOM	427	661 SF	279 SF
69	1BEDROOM	428	775 SF	355 SF

R4B 3RD RESIDENTIAL FLOOR -

70	2BEDROOM	429	1,276 SF	175 SF
71	2BEDROOM	430	1,168 SF	142 SF
72	2BEDROOM	431	1,222 SF	183 SF
73	2BEDROOM	432	1,131 SF	147 SF
74	2BEDROOM	433	1,293 SF	172 SF
75	2BEDROOM	434	1,253 SF	182 SF
			29,892 SF	6,012 SF

RESIDENTIAL NET AREA				
COUNT	UNIT TYPE	UNIT #	NET AREA	PRIVATE O.S

level 5 -

CC1

76	1BEDROOM	501	968 SF	678 SF
77	1BEDROOM	502	922 SF	632 SF
78	1BEDROOM	503	951 SF	665 SF
79	STUDIO	504	482 SF	351 SF
80	STUDIO	505	473 SF	332 SF
81	STUDIO	506	525 SF	358 SF
82	2BEDROOM	507	1,605 SF	1,231 SF
83	2BEDROOM	508	1,026 SF	140 SF
84	2BEDROOM	509	987 SF	139 SF
85	1BEDROOM	510	708 SF	139 SF
86	STUDIO	511	556 SF	122 SF
87	1BEDROOM	512	705 SF	127 SF
88	1BEDROOM	513	632 SF	160 SF
89	1BEDROOM	514	562 SF	134 SF
90	1BEDROOM	515	550 SF	120 SF
91	1BEDROOM	516	613 SF	121 SF
92	1BEDROOM	517	648 SF	207 SF
93	2BEDROOM	518	829 SF	147 SF
94	2BEDROOM	519	828 SF	147 SF
95	2BEDROOM	520	828 SF	145 SF
96	1BEDROOM	521	656 SF	123 SF
97	1BEDROOM	522	656 SF	131 SF
98	1BEDROOM	523	652 SF	124 SF
99	1BEDROOM	524	784 SF	196 SF

R4B 4TH RESIDENTIAL FLOOR -

100	2BEDROOM	525	1,278 SF	180 SF
101	2BEDROOM	526	1,161 SF	130 SF
102	2BEDROOM	527	1,222 SF	134 SF
103	2BEDROOM	528	1,132 SF	131 SF
104	2BEDROOM	529	1,293 SF	164 SF
105	2BEDROOM	530	1,238 SF	172 SF
			25,472 SF	7,582 SF

R4B 5TH RESIDENTIAL FLOOR -

106	2BEDROOM	601	1,027 SF	358 SF
107	2BEDROOM	602	1,055 SF	298 SF
108	2BEDROOM	603	1,115 SF	318 SF
109	2BEDROOM	604	988 SF	344 SF
110	2BEDROOM	605	1,106 SF	389 SF
111	2BEDROOM	606	1,031 SF	191 SF
			6,321 SF	1,896 SF
Grand total			100,407 SF	22,483 SF

RESIDENTIAL NET AREA IN CC1 LOT		
Level	Count	NET AREA

level 3	29	24,233 SF	
level 4	28	22,549 SF	
level 5	24	18,147 SF	
		81	64,929 SF

RESIDENTIAL NET AREA IN R4B LOT		
Level	Count	NET AREA

level 2	6	7,154 SF	
level 3	6	7,335 SF	
level 4	6	7,343 SF	
level 5	6	7,325 SF	
Roof	6	6,321 SF	
		30	35,478 SF

STUDIO UNITS		
COUNT	N.S.F	AVRG. SIZE

6	2,882 SF	240 SF
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1BEDROOM UNITS		
COUNT	N.S.F	AVRG. SIZE

41	28,690 SF	820 SF
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2BEDROOM UNITS		
COUNT	N.S.F	AVRG. SIZE

64	68,834 SF	1,377 SF
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ALL UNITS		
COUNT	N.S.F	AVRG. SIZE

111	100,407 SF	1,035 SF
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NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
RESIDENTIAL UNITS
INFO
ISSUE FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE

SHEET **A0.01c**

Notes: drawings shall not be used for construction. Contractors shall verify and be responsible for all dimensions and conditions prior to their starting work. Drawings shall not be submitted to the office for approval before processing with fabrication.

WEST HOLLYWOOD GREEN BUILDING PROGRAM POINT SYSTEM

8555 Santa Monica Blvd. CATEGORY & POINTS AVAILABLE		GREEN DESIGN OR PRODUCT DESCRIPTION	POINTS REC'D	PAGE NUMBER ON PLANS/COMMENTS
SITE LOCATION		Locate buildings close to existing services to reduce environmental impacts from transportation and fully utilize infrastructure. Preserve or restore existing natural resources or amenities on the site. Ensure that the building is equipped to support recycling, alternative transportation, water conservation and other operations components.		
Total Points Available	1 to 3	GB01 Preserve Existing Trees Over 6" Diameter (1 pt/tree; 3 pts max.)		
	1	GB02 Use Recycled Content Mulch or Other Landscape Amendments	1	See Landscape Notes
			4	1
NATURAL HEATING + COOLING		Reduce energy loads while maintaining comfort through passive design strategies. Increase interior comfort and health through adequate ventilation.		
Total Points Available	5	GB03 Plant Deciduous Canopy Trees (min. 36" box, planted in the ground) on Exposed West and/or South Elevations (1 pt/tree, 5 pts max.)		
	5	GB04 Provide Narrow Floor Plates (max. 50 ft. depth) and/or Courtyards to Enable Natural Ventilation	5	See dimensions on A2.01 & A2.02 for typical floor plans; Floor plates range from 30'-8" to 45'-6" <50' ✓
	2	GB05 Provide Operable Windows to Enable Natural Cross Ventilation (min. 20% of total window area)	2	See A3.01, A3.02 ✓
	2	GB06 Install Exterior Shading Devices on South- and/or West-Facing	2	See renderings and elevations ✓
	2	GB07 Provide Ceiling Fans (1 pt for each 50% of units or floor area served; 2 points max.)	2	To be shown in reflected ceiling plans ✓
	3	GB08 Eliminate Air Conditioning (available only if points for narrow floor plates, operable windows, and exterior shading are incorporated)		
				19
FOUNDATION		Reduce resources used and encourage use of recycled-content materials.		
Total Points Available	1	GB09 Use Recycled-Content Base or Backfill Material	1	To be indicated in Civil and Structural Specifications ✓
	3	GB10 Incorporate Flyash or Slag Ash in Concrete (min. 15%)	3	To be indicated in Structural Specifications ✓
	2	GB11 Increase Flyash Percentage (1 pt for each additional 5%)	1	To be indicated in Structural Specifications
			6	5
STRUCTURAL FRAME		Reduce the amount of old growth sawn wood (wider than 3x and taller than 8x) used in framing, encourage ecologically sensitive forestry, and encourage alternate framing techniques.		
Total Points Available	5	GB12 Use Engineered Lumber or Steel for minimum of 90% of subfloors, sheathing, floor joists, beams, headers, and trusses, as applicable.	5	To be indicated in Structural Specifications ✓
	2	GB13 Use Engineered Vertical Wood Studs		
	5	GB14 Use FSC-Certified Wood for Framing (1 pt for every 10% of framing lumber; max. 5 pts)		
	2	GB15 Use Structural Insulated Panels (SIPs)		
				14
PLUMBING		Increase the water efficiency of plumbing fixtures and reduce energy used for water heating.		
Total Points Available	1	GB16 Insulate the full length of all hot water pipes	1	To be indicated in Plumbing Specifications ✓
	1	GB17 Install Low-Flow Showerheads (< 2.5 gpm)	1	To be indicated in Plumbing Specifications ✓
	1	GB18 Install Water Efficient Kitchen & Bathroom Faucets (<2.5 gpm)	1	To be indicated in Plumbing Specifications ✓
	1	GB19 Install Water Efficient Toilets (Dual-flush or <1.3 gpf)	1	To be indicated in Plumbing Specifications ✓
	2	GB20 Install Water Efficient Urinals (1 pt for 0.5 gpf, 2pts for water-free)	2	To be indicated in Plumbing Specifications ✓
	2	GB21 Install Tankless Water Heaters	2	To be indicated in Plumbing Specifications ✓
				8
INSULATION		Reduce energy losses through the building envelope and improve occupant comfort. Promote better indoor air quality. Increase use of recycled content and rapidly renewable materials.		
Total Points Available	1	GB22 Install Formaldehyde-free, Recycled-Content (min. 25%) Insulation	1	To be indicated in Architectural Specifications ✓
	2	GB23 Install Cellulose, Cotton Batt, Bio-Based Foam in walls (min. 60% of insulation)		
	2	GB24 Install Cellulose, Cotton Batt, Bio-Based Foam in ceilings (min. 60% of insulation)		
			5	
ENERGY EFFICIENCY + RENEWABLE ENERGY		Reduce climate change impacts of building operation by increasing overall building energy efficiency and generating renewable energy. Provide for the future installation of renewable energy systems.		
Total Points Available	5	GB25 Exceed Title 24 Energy Code by 5%	5	Title 24 Calculations will be provided ✓
	15	GB26 Exceed Title 24 Energy Code by More Than 5%. (1 pt for each additional 1% above 5%; max. 15 pts)	10	Title 24 Calculations will be provided
	3	GB27 Participate in Energy Star (residential) or Savings By Design (commercial) Programs	3	Title 24 Calculations will be provided ✓
	1	GB28 Pre-Plumb and Provide Conduit for Solar Water Heating	1	To be shown in final Electrical drawings ✓
	2	GB29 Install Solar Water Heating System for Domestic Hot Water		
	2	GB30 Install Solar Water Heating System for Pool Heating		
	10	GB31 Install Photovoltaic (PV) Panels (1 pt/kW ; max. 10 pts)	5	To be indicated in Electrical Specifications ✓
	3	GB32 Install Energy Star Lighting (50% of total fixtures)	3	To be indicated in Electrical Specifications ✓
	1	GB33 Install Energy Star Exit Signs	1	To be indicated in Electrical Specifications ✓
	1	GB34 Install Energy Star Programmable Thermostats	1	To be indicated in Electrical Specifications ✓
	1	GB35 Install Timer or Photo Sensor for Exterior Lights	1	To be indicated in Electrical Specifications ✓
	1	GB36 Seal all Ducts with Mastic (residential) or Install per SMACNA standards (commercial)	1	To be indicated in Electrical Specifications ✓
				45

...CONTINUED ON SHEET A0.02b

NOT FOR CONSTRUCTION

JOB TITLE
SANTA MONICA & WEST KNOLL
MIXED USE BUILDING

JOB ADDRESS
8555 SANTA MONICA BLVD
WEST HOLLYWOOD, CA 90069

SHEET TITLE
GREEN BUILDING POINTS

ISSUED FOR
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JOB NO.
01020

DATE
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SCALE

SHEET **A0.02a**

WEST HOLLYWOOD GREEN BUILDING PROGRAM POINT SYSTEM

ROOFING		Provide roofing materials that are durable, reduce resource use, minimize interior heat gain, provide storm water management, and reduce the urban heat island effect.			
	2	GB46	Use Recycled-Content Roofing Materials		
	2	GB47	Install Energy Star or Cool Roof		
	3	GB48	Install Durable Roof with Long-Term Warranty or Demonstrated Long-Term Durability (40 yr warranty for asphalt shingles, 15 yr warranty for built-up roof, metal or clay tile)		
	6	GB49	Install Extensive Vegetated Green Roof (3 pt./each 50% of roof not occupied by mechanical equip. or access stairs)	6 See A2.05 & L3.00 ✓	
	8	GB50	Install Intensive Vegetated Green Roof (4 pt./each 50% of roof not occupied by mechanical equip. or access stairs)		
Total Points Available	21			6	
EXTERIOR FINISH		Encourage durable materials that do not require frequent maintenance.			
	3	GB51	Use Durable Exterior Finishes (1 pt./30% of exterior area) including Integral-Color or Uncolored Unpainted Stucco, Fiber-Cement Panels or Siding, Metal Panels or Siding, Composite Wood Panel(Parklex), Glass, and other similar durable finishes.	All exterior finishes proposed are durable and include the following: Integral-color Stucco, concrete, Parklex and glass. See A3.01 & A3.02 ✓	
	1	GB52	Use Recycled-Content or FSC-Certified Outdoor Flooring Materials.		
Total Points Available	4			3	
INTERIOR FINISH		Reduce the use of natural resources, use rapidly renewable materials, and encourage ecologically sensitive forestry.			
	5	GB53	Use Exposed Concrete as Finished Floor (1pt./each 20%)	5 To be indicated in Architectural Specifications ✓	
	3	GB54	Use Resource-Efficient Flooring or FSC-Certified Wood Flooring for All Wood Flooring (1pt./30% of floor area). Resource efficient includes rapidly renewable materials, recycled-content carpet or flooring tiles (min. 25% recycled content).		
	3	GB55	Use agriculture board, FSC certified, or rapidly renewable cabinetry material	3 To be indicated in Architectural Specifications	
	1	GB56	Use Recycled-Content Countertop Materials (min. 25% recycled content)	1 To be indicated in Architectural Specifications	
Total Points Available	12			9	
INNOVATIVE DESIGN		Allow for innovation in design, building systems, and materials. Add additional green design principles through innovative approaches.			
Total Points	8		TBD, 8 points max.	0	
TOTAL POINTS AVAILABLE	160		TOTAL POINTS EARNED	90	
			MANDATORY POINTS FOR COMPLIANCE	60	
			POINTS NEEDED FOR INCENTIVES	90	
CATEGORY & POINTS AVAILABLE		GREEN DESIGN OR PRODUCT DESCRIPTION		POINTS REC'D	PAGE NUMBER ON PLANS
MANDATORY POINTS					
New Code Requirements as part of Green Building Ordinance, effective October 1, 2007	0	GB57	Provide Secure Bike Parking (1 space/7 employees or 10,000 sq. ft. or 1 space/ 4 dwelling units).	NA	See Sheet A2.00 Garage level plan
	0	GB58	Label Storm Drains Adjacent to the Property.	NA	See Sheet A1.00 Survey
	0	GB59	Provide Roof Location and Install Conduit from Roof to Electrical Room for Future Photovoltaic System (PV) Installation.	NA	See sheet A2.06 -Roof area that is not used for common open space is constructed as green roof (2000sf). Some of this area can also be allocated to PV system but size and number of panels will be determined during CDs.
	0	GB60	Install Energy Star Appliances - Refrigerator, Washing Machine, Dishwasher.	NA	To be indicated in Architectural Specifications
	0	GB61	Provide Construction Air Quality Management Plan in Specs (at a minimum protect ducts during construction and change filters and vacuum ducts prior to occupancy).	NA	To be indicated in Architectural Specifications
	0	GB62	Use Low-VOC Interior Paints and Wood Finishes (<= 50 g/l flat; <= 150 g/l non-flat).	NA	To be indicated in Architectural Specifications
	0	GB63	Provide owner or tenant with a Green Features/Benefits Manual.	NA	To be provided
	0	GB64	Provide Space for the Collection and Storage of Recyclables.	NA	See Sheet A1.10 site plan for trash and recycling storage location
	0	GB65	Provide preferential parking for alternative fuel vehicles (min. 2% of total spaces for commercial lots with more than 25 spaces).	NA	To be provided in final parking plans
	0	GB66	Divert Construction and Demolition Waste (min. of 80%).	NA	To be indicated in Architectural Specifications
Existing Code Requirements for Green Building (still applicable)	0	GB67	Provide Construction Site Storm Water Management Plan.	NA	To be shown in Civil drawings
	0	GB68	Provide Permeable Surfaces in Required Yards (55% of front and 50% of side).	NA	To be indicated in Landscape drawings
	0	GB69	Use infiltration, biofiltration or equivalent flow reduction treatment BMP for the runoff resulting from either the first 0.75 inches of rainfall or the runoff resulting from a continuous rainfall event of 0.2 inches per hour.	NA	To be shown in Civil drawings
	0	GB70	Use Drought Tolerant and Native Species for Landscaping.	NA	See Landscape sheets
	0	GB71	Install Water-Efficient Irrigation System.	NA	To be shown in Landscape drawings
	0	GB72	Parking Landscaping for Surface Parking Areas - Projects must comply with all applicable requirements. See Section 19.28.100(B) on Parking Area Landscaping Requirements.	NA	NA
	0	GB73	Transportation Demand Management - Projects must comply with applicable requirements. See Chapter 10.16 on Transportation Demand Management.	NA	NA

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SHEET TITLE
GREEN BUILDING POINTS

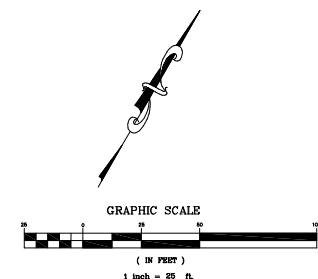
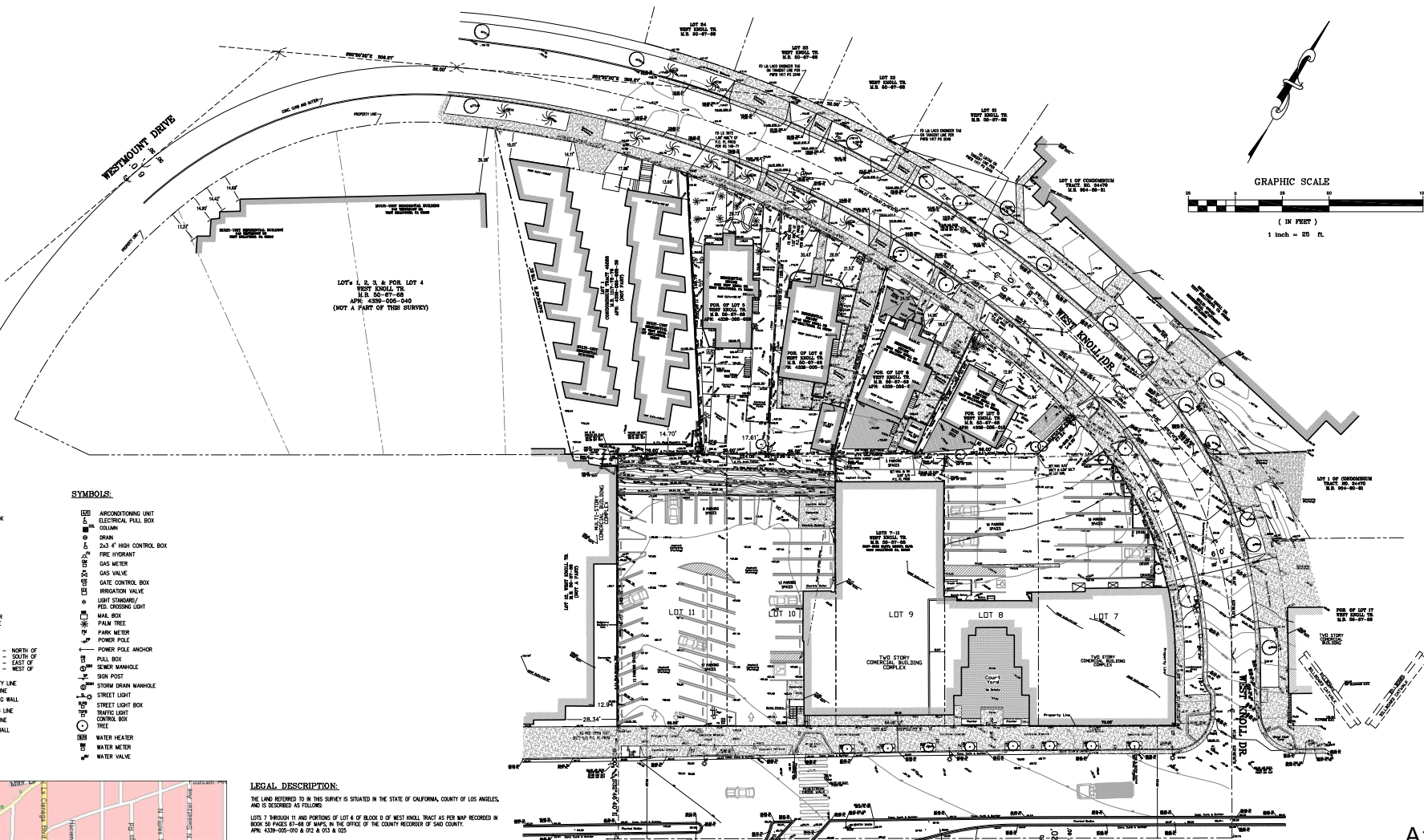
ISSUED FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE

SHEET A0.02b

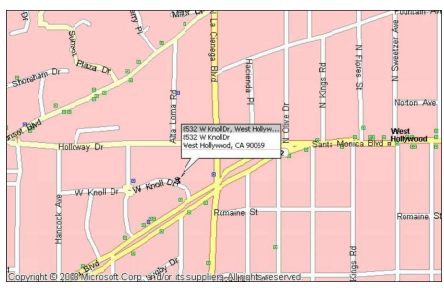


LEGEND:		SYMBOLS:	
A.C.	ASPHALT CONCRETE	ES	ARCON/TONING UNIT
CB	CATCH BASIN	E	ELECTRICAL PULL BOX
CFB	CITY ENGINEER'S FIELD BOOK	CO	COLUMN
CONC	CONCRETE	D	DRAIN
COL	COLUMN	E	2x3 1/2" HIGH CONTROL BOX
ELEC	ELECTRIC	FI	FIRE HYDRANT
FF	FLOOR BOOK	GM	GAS METER
FD	FLOOR	GV	GAS VALVE
FFL	FIRST FLOOR ELEV.	GC	GATE CONTROL BOX
FL	FLOORLINE ELEV.	IV	IRRIGATION VALVE
LS	LAND SURVEYOR	LS	LIGHT STUBS/PIED
L & T	LEAD & TACK	LO	LOADING LIGHT
MB	MAP BOOK	MB	MAIL BOX
PC	PROPERTY CORNER	PT	PALM TREE
P	PROPERTY LINE	PM	PARK METER
REC	REGISTERED CIVIL ENGINEER	PP	POWER POLE
S.S.M.	SANITARY SEWER MANHOLE	PPA	PULL BOX
SE	SOUTH ELEV.	SD	SEWER MANHOLE
SE	SOUTH ELEV.	SP	SON POST
TE	TOP OF WALL ELEV.	SDM	STORM DRAIN MANHOLE
NLY	NORTHERLY	SL	STREET LIGHT
SLY	SOUTHERLY	SLB	STREET LIGHT BOX
Ely	EASTERLY	TL	TRAFFIC LIGHT CONTROL BOX
Wly	WESTERLY	T	TREE
---	PROPERTY LINE	WH	WATER HEATER
---	CENTERLINE	WM	WATER METER
=====	RETAINING WALL	WV	WATER VALVE
=====	BUILDING LINE		
-----	FENCE LINE		
=====	BLOCK WALL		

LEGAL DESCRIPTION:
 THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, AND IS DESCRIBED AS FOLLOWS:
 LOTS 7 THROUGH 11 AND PORTIONS OF LOT 6 OF BLOCK D OF WEST KNOLL TRACT AS PER MAP RECORDED IN BOOK 50 PAGES 61-68 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
 APN: 4338-005-004 & 003 & 002 & 001

BENCH MARK
 ASSUMED BENCH MARK ELEVATION 862.7' ON PPM STAMPED 13-10763, 2003
 4 FT NORTH OF NORTH CURB SANTA MONICA BLVD, 5 FT EAST OF 800 EAST OF WEST KNOLL DR. NORTHWEST OR CATCH BASIN (TO CHANGE TO NAVD 1989 DATUM AN ADDITIONAL 146.41 FT NEEDS TO BE ADDED TO ALL ELEVATIONS)

LAND AREA:
 POR OF LOT 4 APN:4338-005-009 CONTAINING AN AREA OF 5,963.28 SQ. FT., OR 0.136 ACRES, MORE OR LESS.
 POR OF LOT 6 APN:4338-005-010 CONTAINING AN AREA OF 5,038.42 SQ. FT., OR 0.127 ACRES, MORE OR LESS.
 POR OF LOT 6 APN:4338-005-011 CONTAINING AN AREA OF 4,347.39 SQ. FT., OR 0.099 ACRES, MORE OR LESS.
 POR OF LOT 6 APN:4338-005-012 CONTAINING AN AREA OF 3,104.38 SQ. FT., OR 0.071 ACRES, MORE OR LESS.
 LOTS 7 THROUGH 11 APN:4338-005-005, 013 CONTAINING AN AREA OF 42,944.18 SQ. FT., OR 0.989 ACRES, MORE OR LESS.
 TOTAL AREA: 61,097.38 SQ. FT., OR 1.403 ACRES, MORE OR LESS.



VICINITY MAP
 NOT TO SCALE

A1.00

M&G CIVIL ENGINEERING AND
 LAND SURVEYING



TITLE: TOPOGRAPHIC SURVEY 8532-8552 W. WEST KNOLL DRIVE, WEST HOLLYWOOD, CA 90069 8531-8555 SANTA MONICA BLVD., WEST HOLLYWOOD, CA 90069	
CLIENT: BEN SOROURI	JOB NO.: 19-14750
SCALE: 1" = 25' DESIGNED BY: F.G./C.W./S.A. DRAWN BY: C.W. CHECKED BY: C.D.L.	DATE: 04/10/19 REVISION (S):
CIVIL ENGINEERING & LAND SURVEYING BEVERLY HILLS, CALIFORNIA 90211 347 S. ROBERTSON BLVD. TEL. (310) 659-0871 FAX (310) 659-0845 www.mglandsur.com	
SHEET 1 OF 1 SHEET <small>S:\MARGAN\1814750\MG</small>	



NOT FOR CONSTRUCTION

JOB TITLE
SANTA MONICA & WEST KNOLL
MIXED USE BUILDING

JOB ADDRESS
8555 SANTA MONICA BLVD
WEST HOLLYWOOD, CA 90069

SHEET TITLE
EXISTING BUILDING ELEVATION

ISSUED FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

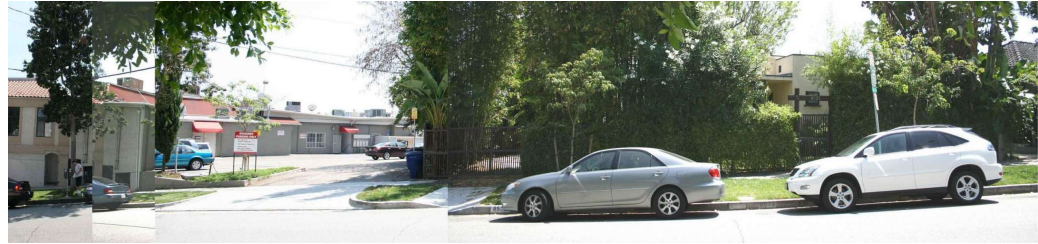
SCALE

SHEET **A1.00A**

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1. NW CORNER OF W KNOLL DR. @ SANTA MONICA BLVD.



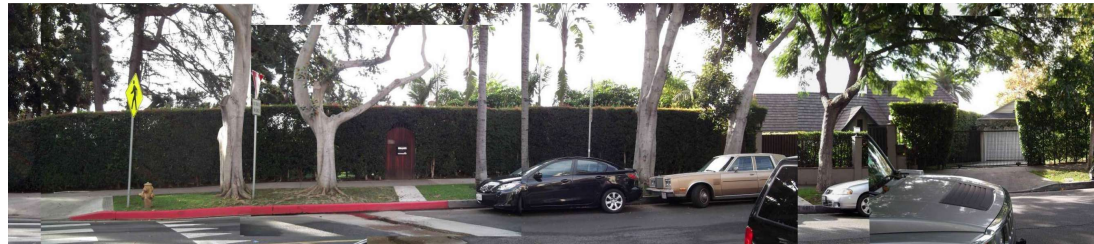
2. W KNOLL DRIVE LOOKING SWHST



4. W KNOLL DRIVE LOOKING SOUTH



5. W KNOLL DRIVE LOOKING NORTH



6. W KNOLL DRIVE LOOKING SOUTH



KEYPLAN

NOT FOR CONSTRUCTION

JOB TITLE
SANTA MONICA & WEST KNOLL
MIXED USE BUILDING

JOB ADDRESS
8555 SANTA MONICA BLVD
WEST HOLLYWOOD, CA 90069

SHEET TITLE
SITE PHOTOS

ISSUED FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE

SHEET

A1.01



7. W KNOLL DRIVE LOOKING NORTH



8. W KNOLL DRIVE LOOKING NORTH



KEYPLAN



9. W KNOLL DRIVE LOOKING NORTH



10. NE CORNER OF W KNOLL DR. @ SANTA MONICA BLVD.



11. WESTMOUNT DR. @ SANTA MONICA BLVD.



12. WESTMOUNT DR. LOOKING EAST

NOT FOR CONSTRUCTION

JOB TITLE
SANTA MONICA & WEST KNOLL
MIXED USE BUILDING

JOB ADDRESS
8555 SANTA MONICA BLVD
WEST HOLLYWOOD, CA 90069

SHEET TITLE
SITE PHOTOS

ISSUED FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE

SHEET A1.02



13. W KNOLL DRIVE & WESTMOUNT LOOKING SOUTH



14. WESTMOUNT DR. LOOKING EAST



KEYPLAN



15. WESTMOUNT DR. LOOKING WEST



16. WESTMOUNT DR. LOOKING WEST

NOT FOR CONSTRUCTION

JOB TITLE
SANTA MONICA & WEST KNOLL
MIXED USE BUILDING

JOB ADDRESS
8555 SANTA MONICA BLVD
WEST HOLLYWOOD, CA 90069

SHEET TITLE
SITE PHOTOS

ISSUED FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE

SHEET **A1.03**

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17. PANORAMA ALONG SANTA MONICA

VIEW FROM NORTH EAST

	10 AM	12 PM	3 PM
MARCH 21			
JUNE 21			
SEPTEMBER 21			
DECEMBER 21			

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
SHADOW STUDY

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE

SHEET **A1.06a**

Works shown are preliminary and subject to change without notice. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their starting. Site details must be submitted to the office for approval before proceeding with fabrication.

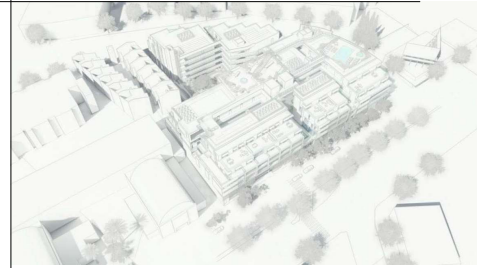
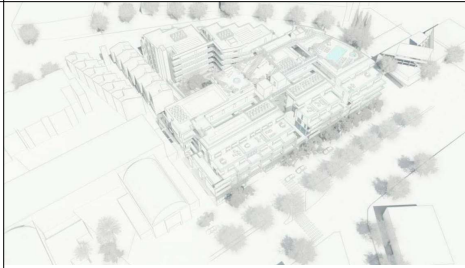
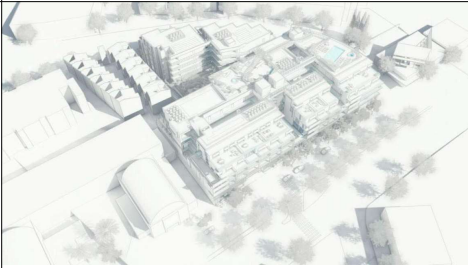
VIEW FROM SOUTH WEST

10 AM

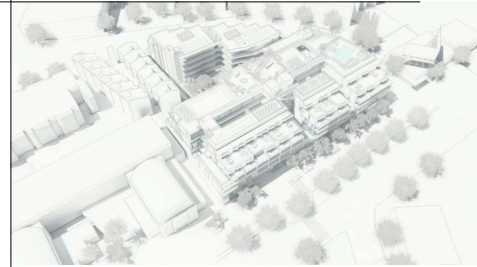
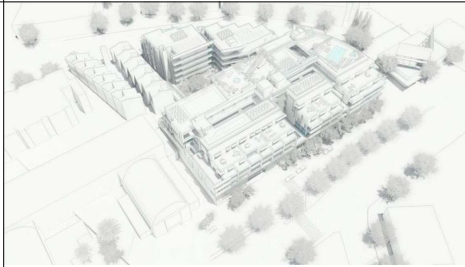
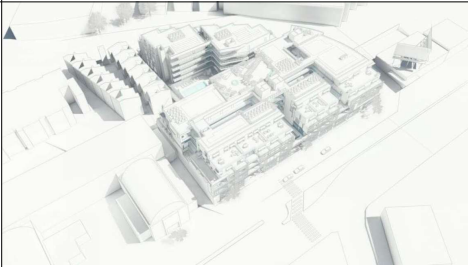
12 PM

3 PM

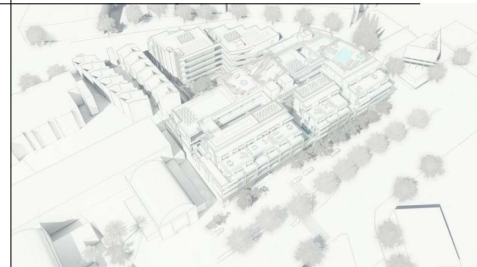
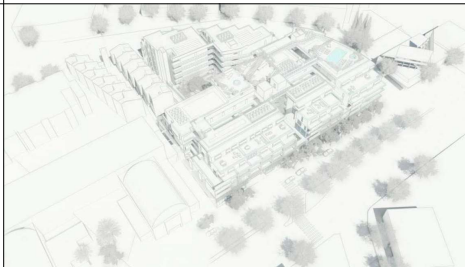
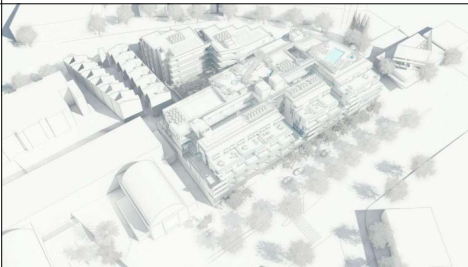
MARCH 21



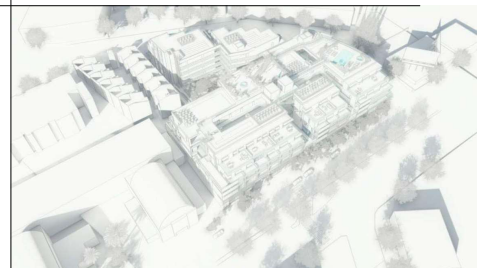
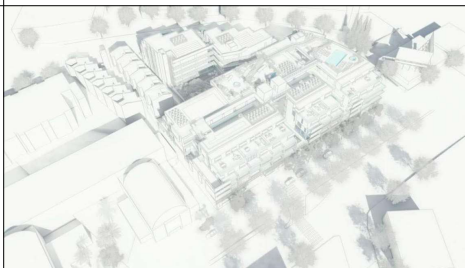
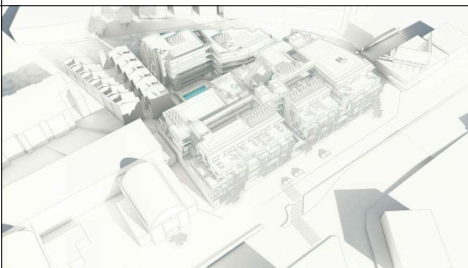
JUNE 21



SEPTEMBER 21



DECEMBER 21



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
SHADOW STUDY

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE

SHEET **A1.06b**

Notes: drawings shall not be used for construction. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their activities. Drawings shall not be submitted to the office for approval before proceeding with fabrication.



MASSING MODEL, VIEW FROM NORTH WEST



MASSING MODEL, VIEW FROM NORTH



MASSING MODEL, VIEW FROM SOUTH WEST



MASSING MODEL, VIEW FROM SOUTH EAST

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
MASSING MODEL

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE

SHEET **A1.07**

Written drawings shall constitute the contract. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their activity. Site details must be submitted to the office for approval before proceeding with fabrication.



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
AERIAL VIEW

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE



IMAGE IS TAKEN IN 2014

TOTAL LOT AREA: 61,097 SF

SHEET **A1.09**
Words described and used shall be as defined in the applicable codes and regulations. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their activities. This sheet must be submitted to the office for approval before proceeding with fabrication.