



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
NORTHEAST VIEW

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE

ARTISTIC ILLUSTRATION
VIEW FROM NORTH

SHEET **A1.14**
Works illustrated shall show the proposed construction and not
revisions. Drawings shall not be used. Contractors shall verify, and be
responsible for, all dimensions and conditions prior to their activity. This sheet
must be submitted to the office for approval before proceeding with fabrication.



ARTISTIC ILLUSTRATION

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
VIEW FROM SOUTH

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE

SHEET

A1.15

Works shown are not final. They are for informational purposes only. No warranty, express or implied, is made by the architect. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their activity. This sheet must be submitted to the office for approval before proceeding with fabrication.



NOT FOR CONSTRUCTION

JOB TITLE
 8555 SANTA MONICA
 MIXED USE DEVELOPMENT

JOB ADDRESS
 WEST HOLLYWOOD, CA 90069

SHEET TITLE
 PLAZA VIEW

ISSUE FOR
 PLANNING

JOB NO.
 01020

DATE
 APRIL 21 2021

SCALE

SHEET **A1.16**
Works shown are not final. They are subject to change without notice. All drawings and conditions are subject to their respective. This sheet must be submitted to the city for approval before proceeding with fabrication.

ARTISTIC ILLUSTRATION



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
EAST FACADE VIEW

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE

ARTISTIC ILLUSTRATION
VIEW FROM EAST

SHEET **A1.17**

Works shown are preliminary and subject to change without notice. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their activity. This sheet must be submitted to the office for approval before proceeding with fabrication.



ARTISTIC ILLUSTRATION

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
WEST FACADE VIEW

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE

SHEET **A1.18**

Works shown are preliminary and subject to change without notice. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their activities. This sheet must be submitted to the office for approval before proceeding with fabrication.



ARTISTIC ILLUSTRATION

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
VIEW FROM NORTH

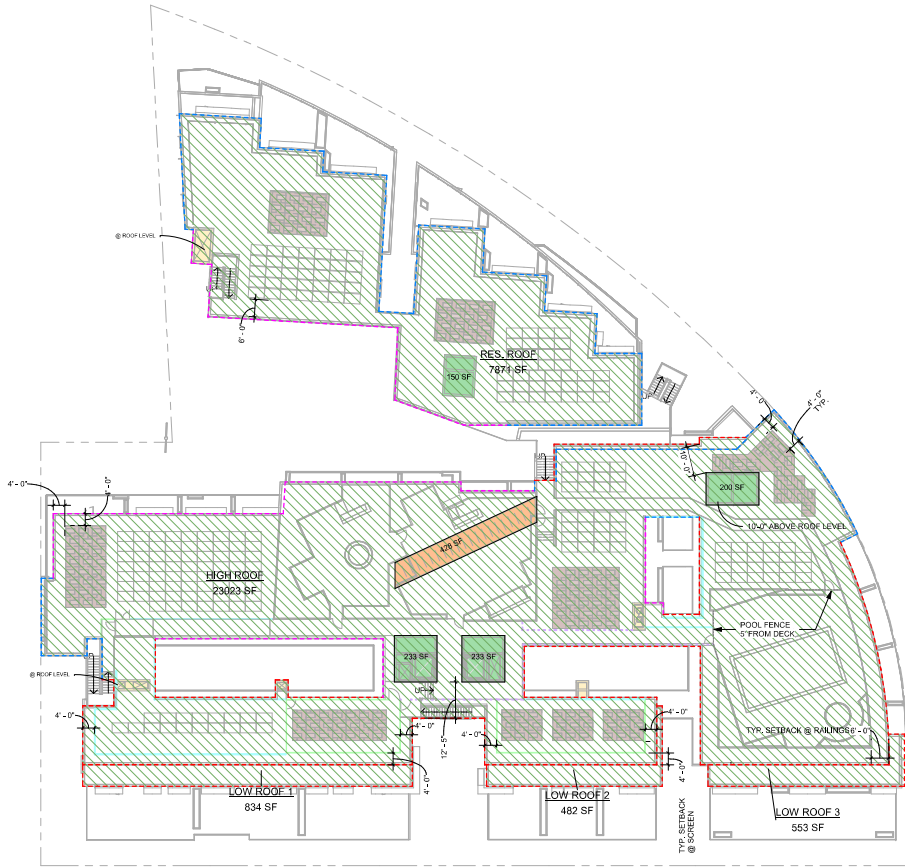
ISSUE FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE

SHEET **A1.19**
Work shown on this drawing is preliminary and subject to change without notice. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their activity. This sheet must be submitted to the office for approval before proceeding with fabrication.



② Roof Diagram
1" = 20'-0"

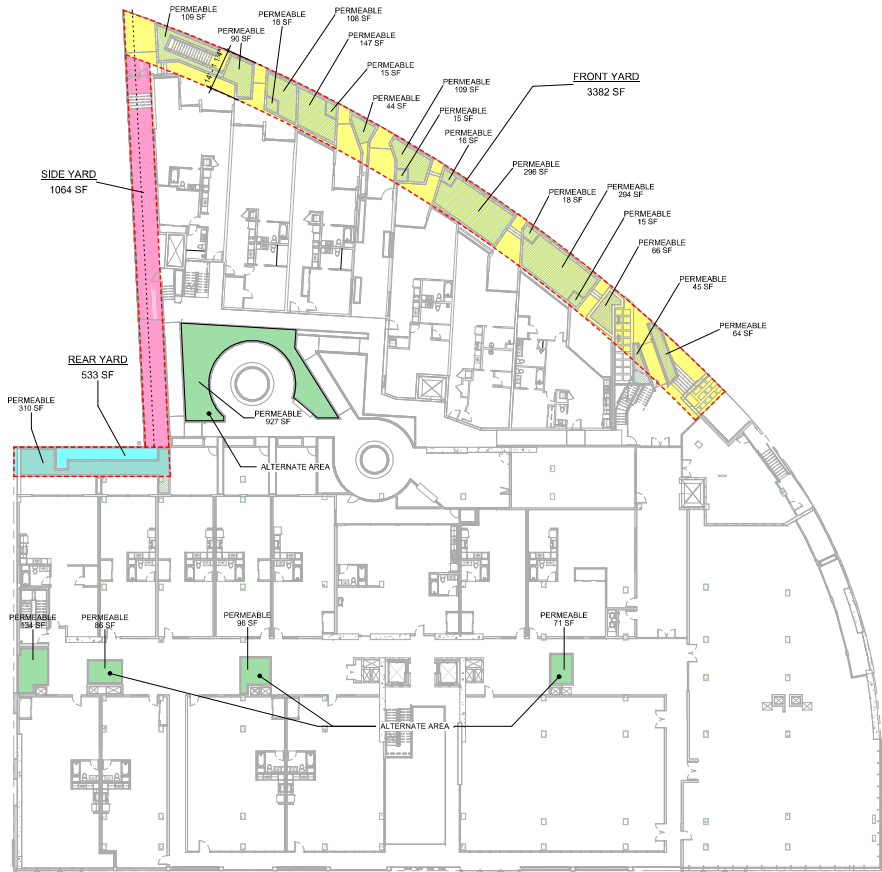
****PER WHMC 19.20.081.C.4.C. Projections Above Allowed Heights, Mechanical equipment, roofings, telecommunications facilities and other apartment building structures or penetrations (e.g., shafts, stairwells, and ventilation air) may be allowed, but shall not exceed 15 percent of the total roof area and shall not exceed ten feet in height above the roof above which they are situated. A rooftop structure, equipment, or penetration shall be set back from the edge of the structure a minimum of one foot for every foot in height above the roof above which they are situated.

ROOF AREA	
HIGH ROOF	23,023 SF
LOW ROOF 1	834 SF
LOW ROOF 2	482 SF
LOW ROOF 3	553 SF
RES. ROOF	7,871 SF
GROSS ROOF AREA	32,763 SF

ROOF PROJECTIONS	
ELEVATOR PENTHOUSES	816 SF
MECHANICAL PLATFORMS	2,588 SF
SHAFTS	170 SF
TRELLIS	428 SF
TOTAL ROOF PROJECTIONS	4,000 SF

TOTAL ROOF PROJECTIONS < 15% GROSS ROOF AREA (4,910 SF)
4,000 SF < 4,914 SF

ROOF PROJECTIONS	HEIGHT ABV. ROOF (U.O.N)
ELEVATOR PENTHOUSES	12'-0"
MECHANICAL UNITS	4'-0"
SHAFTS	4'-0"
TRELLIS	10'-0"
PARAPET WALLS	4'-0"
FROSTED GLASS PARAPET	4'-0"
CLEAR GLASS PARAPET	4'-0"
MECH. SCREENS	4'-0"
FALL PROTECTION RAILING	3'-6"
ROOF EDGE	



*AREAS INDICATED AS PERMEABLE TO HAVE MIN. 3" DEEP DIRT

① YARDS PERMEABILITY
1" = 20'-0"

PERMEABLE AREAS		
FRONT YARD	3,382 SF	1,467 SF
REAR YARD	533 SF	290 SF
SIDE YARD	1,064 SF	-
ALTERNATE AREA	-	1,314 SF
TOTAL AREA	4,979 SF	3,071 SF
	x	= 60%
	2,490 SF	< 3,071 SF

Non-Permeable Surfaces: No more than 50 percent of required ground-level common open space areas, and of all required setbacks and yards, shall have non-permeable surfaces. Porous paving and landscaping shall be considered permeable surfaces. Where additional parking spaces extend to property lines, an alternate area of size equal to at least 50 percent of the required yard shall have a permeable surface.



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JOB ADDRESS
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SHEET TITLE
DIAGRAMS

ISSUE FOR
PLANNING

JOB NO.
01020

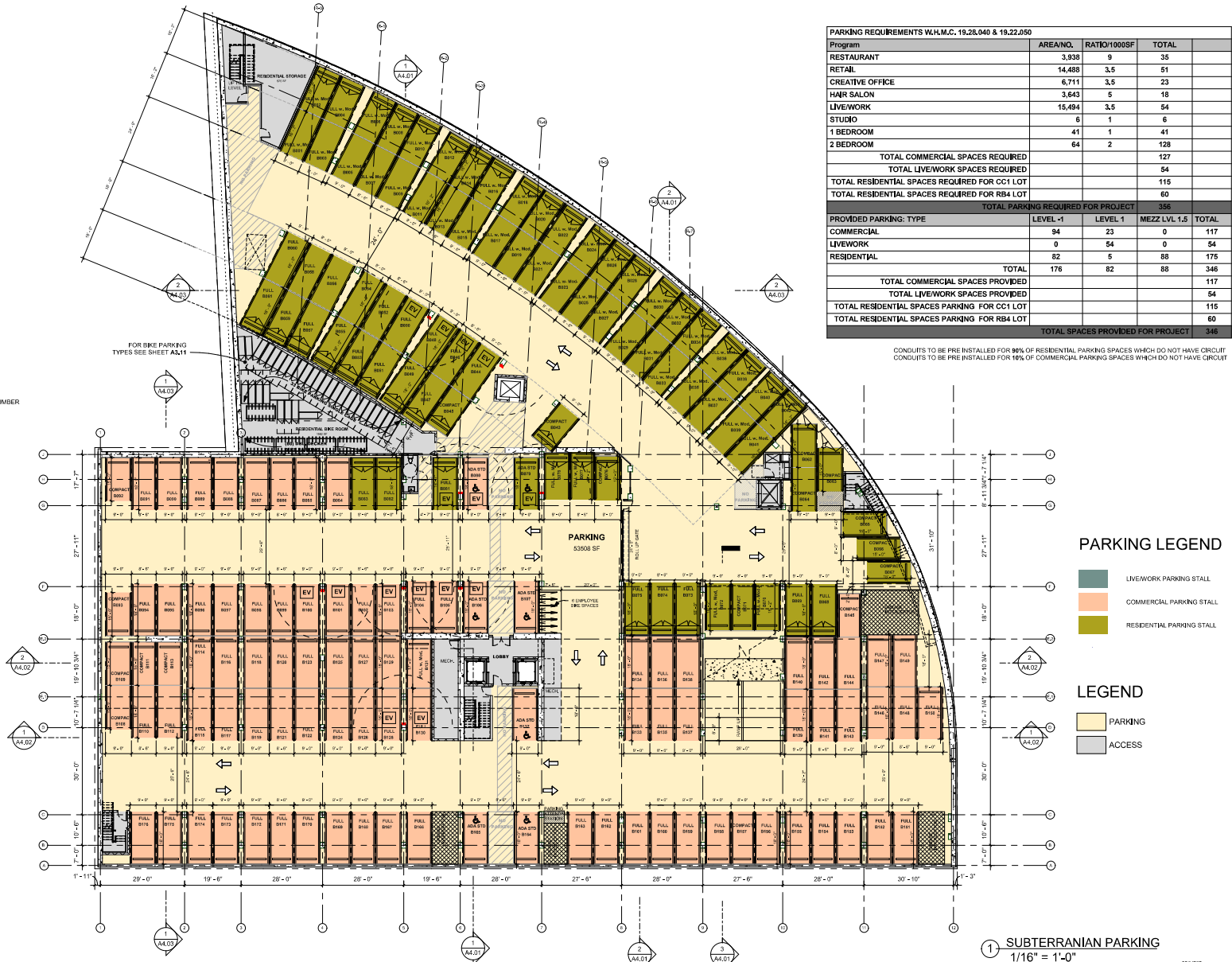
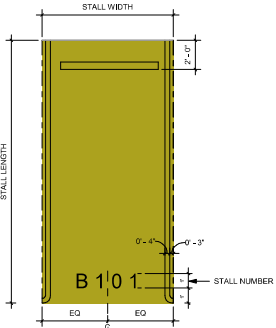
DATE
APRIL 21 2021

SCALE As indicated

SHEET **A1.30**

Notes: Drawing shall not be used for construction. Contractors shall verify, and be responsible for, all dimensions and conditions shown to their drawings. This sheet must be submitted to the office for approval before proceeding with fabrication.

TYP. PARKING STALL



PARKING REQUIREMENTS W.H.M.C. 19.28.040 & 19.22.050				
Program	AREA NO.	RATIO/1000SF	TOTAL	
RESTAURANT	3,938	9	35	
RETAIL	14,488	3.5	51	
CREATIVE OFFICE	6,711	3.5	23	
HAIR SALON	3,643	5	18	
LIVEWORK	15,494	3.5	54	
STUDIO	6	1	6	
1 BEDROOM	41	1	41	
2 BEDROOM	64	2	128	
TOTAL COMMERCIAL SPACES REQUIRED			127	
TOTAL LIVEWORK SPACES REQUIRED			54	
TOTAL RESIDENTIAL SPACES REQUIRED FOR CC1 LOT			115	
TOTAL RESIDENTIAL SPACES REQUIRED FOR RB4 LOT			60	
TOTAL PARKING REQUIRED FOR PROJECT			356	
PROVIDED PARKING: TYPE	LEVEL -1	LEVEL 1	MEZZ LVL 1.5	TOTAL
COMMERCIAL	94	23	0	117
LIVEWORK	0	54	0	54
RESIDENTIAL	82	5	88	175
TOTAL			88	346
TOTAL COMMERCIAL SPACES PROVIDED			117	
TOTAL LIVEWORK SPACES PROVIDED			54	
TOTAL RESIDENTIAL SPACES PARKING FOR CC1 LOT			115	
TOTAL RESIDENTIAL SPACES PARKING FOR RB4 LOT			60	
TOTAL SPACES PROVIDED FOR PROJECT			346	

CONDUITS TO BE PRE INSTALLED FOR 90% OF RESIDENTIAL PARKING SPACES WHICH DO NOT HAVE CIRCUIT
CONDUITS TO BE PRE INSTALLED FOR 10% OF COMMERCIAL PARKING SPACES WHICH DO NOT HAVE CIRCUIT

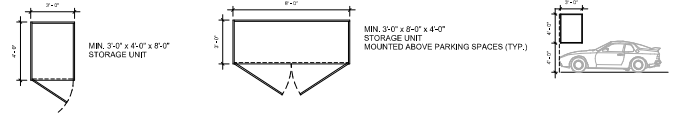
PARKING LEGEND

- LIVEWORK PARKING STALL
- COMMERCIAL PARKING STALL
- RESIDENTIAL PARKING STALL

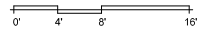
LEGEND

- PARKING
- ACCESS

STORAGE UNIT LEGEND



1 SUBTERRANIAN PARKING
1/16" = 1'-0"



NOT FOR CONSTRUCTION

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8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
SUBTERRANIAN
PARKING
ISSUE FOR
PLANNING

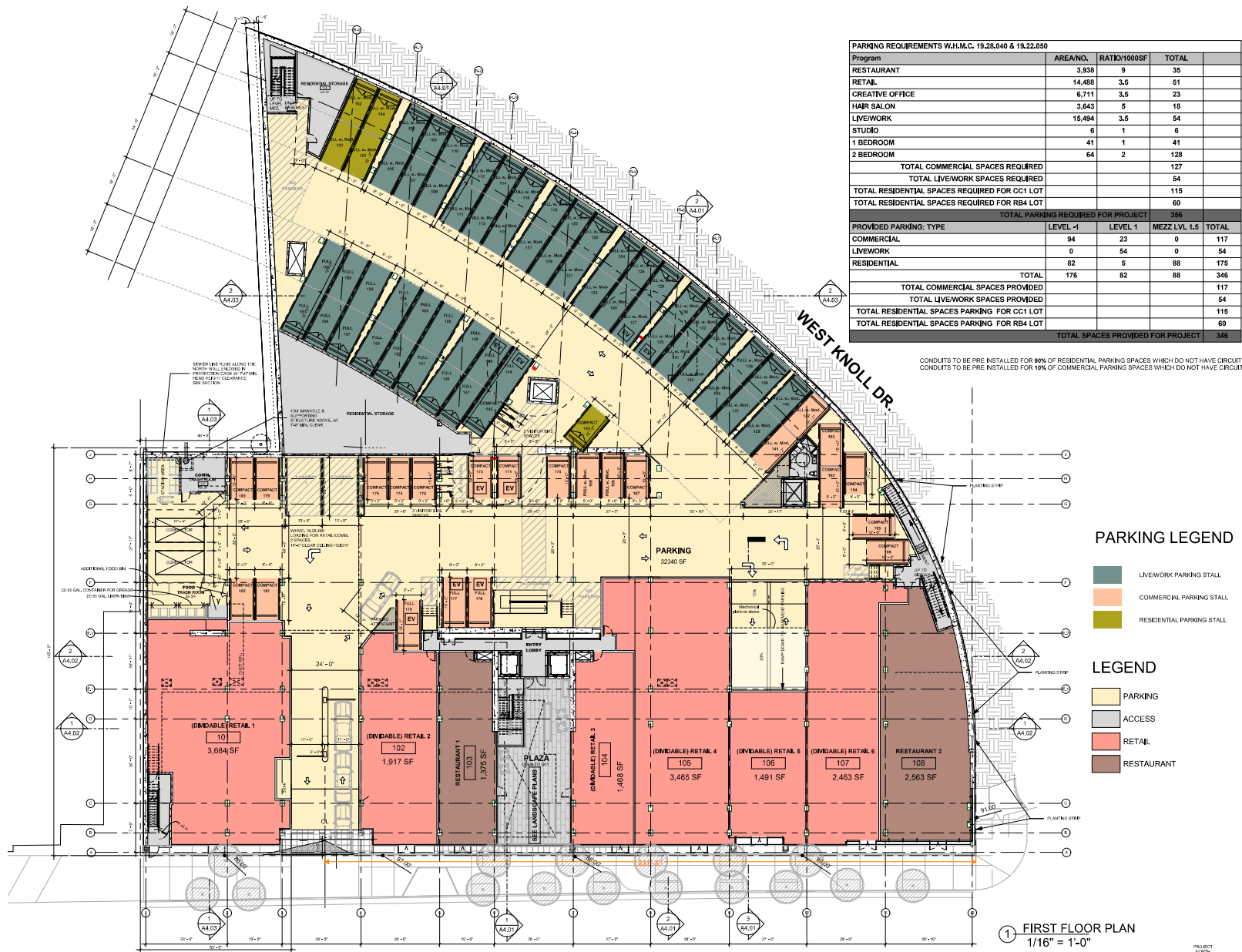
JOB NO.
01020

DATE
APRIL 21 2021

SCALE
As indicated

SHEET **A2.00**

Notes: Drawing shall not be used for construction without the approval of the architect. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their starting work. This sheet must be submitted to the office for approval before proceeding with fabrication.



PARKING REQUIREMENTS W.H.M.C. 19.28.040 & 19.22.050				
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COMMERCIAL	94	23	0	117
LIVE/WORK	0	54	0	54
RESIDENTIAL	82	5	88	175
TOTAL	176	82	88	346
TOTAL COMMERCIAL SPACES PROVIDED			117	
TOTAL LIVE/WORK SPACES PROVIDED			54	
TOTAL RESIDENTIAL SPACES PARKING FOR CC1 LOT			115	
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TOTAL SPACES PROVIDED FOR PROJECT			346	

CONDUITS TO BE PRE INSTALLED FOR 80% OF RESIDENTIAL PARKING SPACES WHICH DO NOT HAVE CIRCUIT
 CONDUITS TO BE PRE INSTALLED FOR 10% OF COMMERCIAL PARKING SPACES WHICH DO NOT HAVE CIRCUIT

PARKING LEGEND

- LIVE/WORK PARKING STALL
- COMMERCIAL PARKING STALL
- RESIDENTIAL PARKING STALL

LEGEND

- PARKING
- ACCESS
- RETAIL
- RESTAURANT

NOT FOR CONSTRUCTION

JOB TITLE
 8555 SANTA MONICA
 MIXED USE DEVELOPMENT

JOB ADDRESS
 WEST HOLLYWOOD, CA 90069

SHEET TITLE
 FIRST FLOOR PLAN

ISSUE FOR
 PLANNING

JOB NO.
 01020

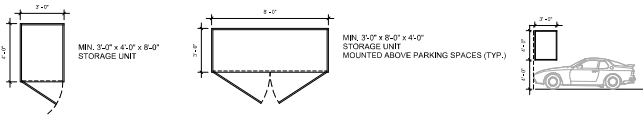
DATE
 APRIL 21 2021

SCALE
 As indicated

SHEET
 A2.01

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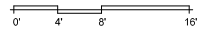
STORAGE UNIT LEGEND

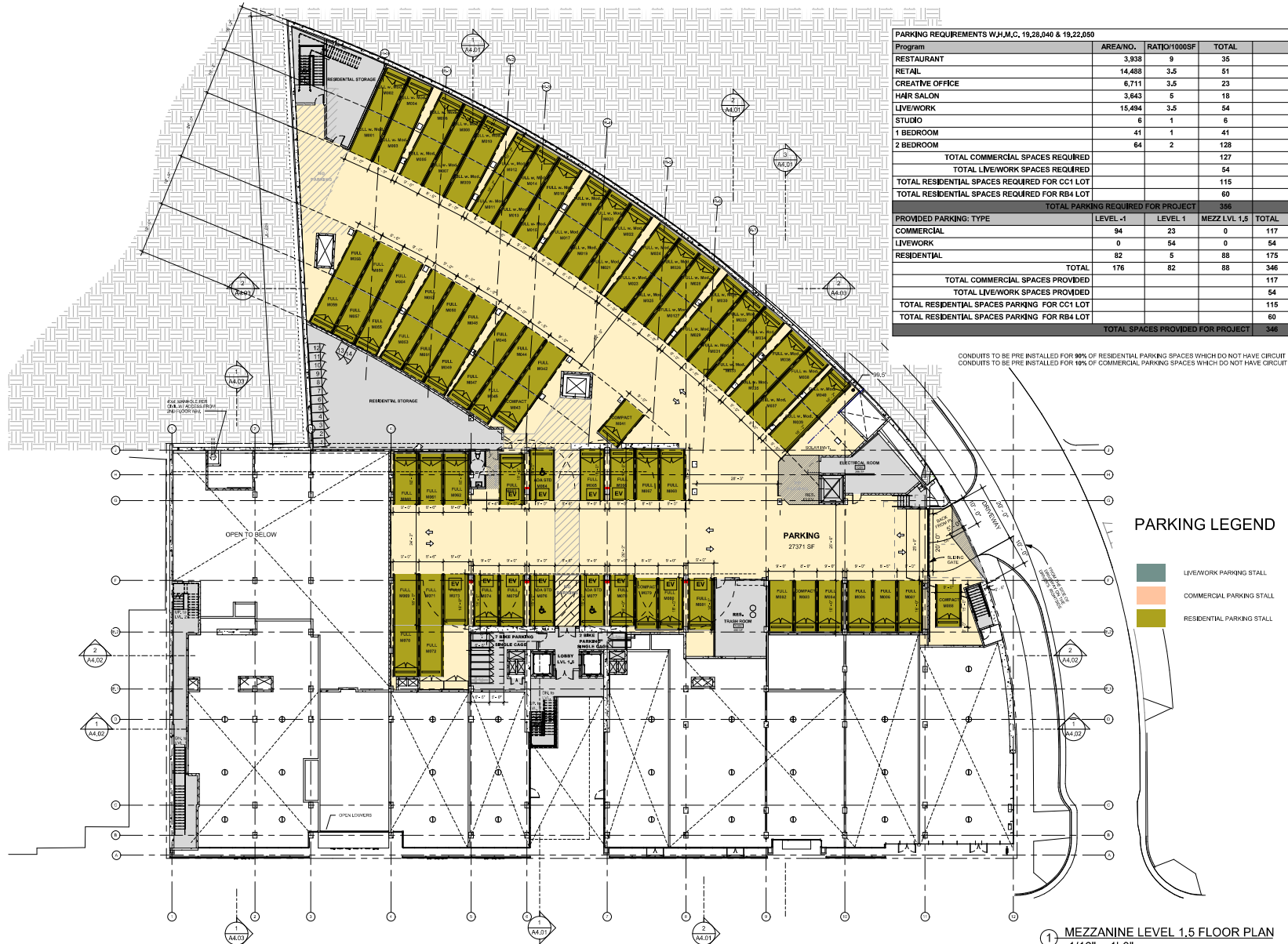


SANTA MONICA BLVD

FLOOR (01) Area CC1 Lot		GROSS SF
AREA NOT INCLUDED IN FAR	PARKING LEVEL 1 (NOT INCLUDED IN FAR)	32,337
FLOOR AREA INCLUDED IN FAR	RESTAURANT	3,938
	RETAIL	14,488
	SHOWER/LOCKER	115
	COMMERCIAL WASTE / RECYCLING	227
	COMMERCIAL CIRCULATION (INCLUDES STAIRS, ELEVATORS, CORR.)	1,016
TOTAL INCLUDED IN FAR CALC. (CC1 LOT)		19,784

1 FIRST FLOOR PLAN
 1/16" = 1'-0"





PARKING REQUIREMENTS W.H.M.C. 19.28.040 & 19.22.050						
Program	AREA/NO.	RATIO/1000SF	TOTAL			
RESTAURANT	3,938	9	35			
RETAIL	14,488	3.5	51			
CREATIVE OFFICE	6,711	3.5	23			
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TOTAL			176	82	88	346
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CONDUITS TO BE PRE INSTALLED FOR 90% OF RESIDENTIAL PARKING SPACES WHICH DO NOT HAVE CIRCUIT
 CONDUITS TO BE PRE INSTALLED FOR 10% OF COMMERCIAL PARKING SPACES WHICH DO NOT HAVE CIRCUIT

PARKING LEGEND

- LIVE/WORK PARKING STALL
- COMMERCIAL PARKING STALL
- RESIDENTIAL PARKING STALL

NOT FOR CONSTRUCTION

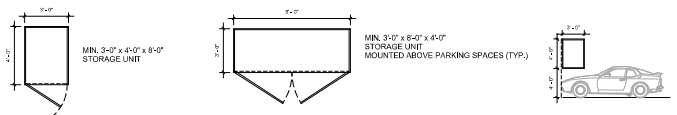
JOB TITLE
 8555 SANTA MONICA
 MIXED USE DEVELOPMENT

JOB ADDRESS
 WEST HOLLYWOOD, CA 90069

SHEET TITLE
 MEZZANINE LEVEL 1.5
 FLOOR PLAN
 ISSUE FOR
 PLANNING

1 MEZZANINE LEVEL 1.5 FLOOR PLAN
 1/16" = 1'-0"

STORAGE UNIT LEGEND



FLOOR MEZZ. FLOOR (1.5) Area CC1 Lot		GROSS SF
AREA NOT INCLUDED IN FAR	PARKING LEVEL 1.5 (NOT INCLUDED IN FAR)	27,379
FLOOR AREA INCLUDED IN FAR	RESIDENTIAL ELECTRICAL	317
	RESIDENTIAL TRASH/RECYCLING AREA	480
	COMMERCIAL ELECTRICAL	100
TOTAL INCLUDED IN FAR CALC. (CC1 LOT)		897

JOB NO.
01020

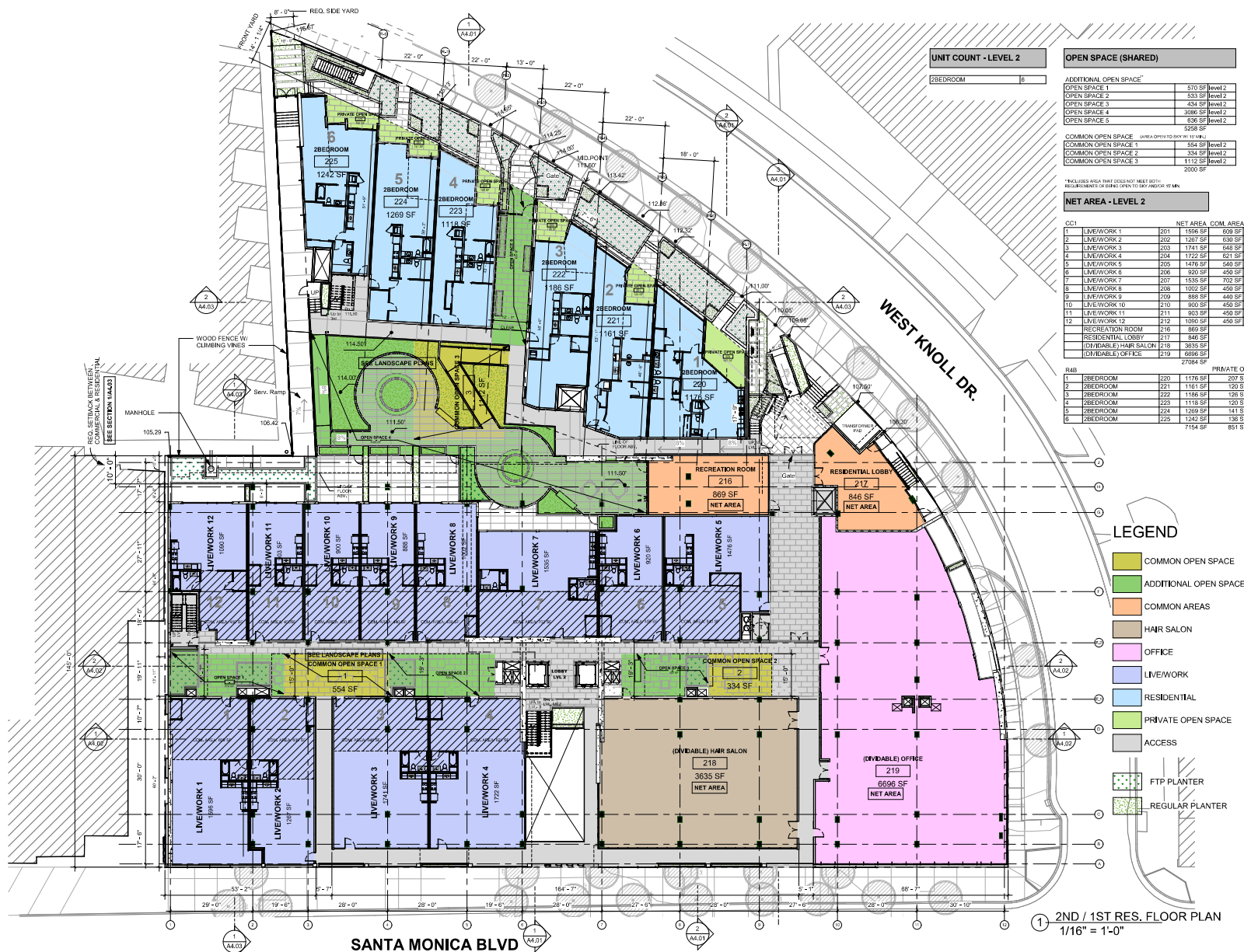
DATE
APRIL 21 2021

SCALE
As indicated

SHEET
A2.01-5

0' 4' 8' 16'

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UNIT COUNT - LEVEL 2	
2BEDROOM	6

OPEN SPACE (SHARED)	
ADDITIONAL OPEN SPACE	
OPEN SPACE 1	570 SF level 2
OPEN SPACE 2	533 SF level 2
OPEN SPACE 3	434 SF level 2
OPEN SPACE 4	3086 SF level 2
OPEN SPACE 5	636 SF level 2
COMMON OPEN SPACE (AREA OPEN TO DECK W/ 10' DEPTH)	
COMMON OPEN SPACE 1	254 SF level 2
COMMON OPEN SPACE 2	334 SF level 2
COMMON OPEN SPACE 3	1112 SF level 2
	2000 SF

NET AREA - LEVEL 2	
CC1	
1 LIVE/WORK 1	2011 1596 SF 699 SF 38%
2 LIVE/WORK 2	2032 1597 SF 698 SF 35%
3 LIVE/WORK 3	203 1741 SF 648 SF 37%
4 LIVE/WORK 4	204 1722 SF 621 SF 36%
5 LIVE/WORK 5	208 1476 SF 540 SF 37%
6 LIVE/WORK 6	206 820 SF 450 SF 49%
7 LIVE/WORK 7	207 1533 SF 702 SF 46%
8 LIVE/WORK 8	208 1002 SF 450 SF 45%
9 LIVE/WORK 9	209 888 SF 440 SF 50%
10 LIVE/WORK 10	210 900 SF 450 SF 50%
11 LIVE/WORK 11	211 903 SF 450 SF 50%
12 LIVE/WORK 12	212 1090 SF 450 SF 41%
RECREATION ROOM	216 869 SF
RESIDENTIAL LOBBY	217 846 SF
(DIVISIBLE) HAIR SALON	218 3635 SF
(DIVISIBLE) OFFICE	219 6696 SF
	27984 SF

NET AREA - LEVEL 2	
R4B	
1 2BEDROOM	220 1176 SF
2 2BEDROOM	221 1161 SF
3 2BEDROOM	222 1186 SF
4 2BEDROOM	223 1118 SF
5 2BEDROOM	224 1269 SF
6 2BEDROOM	225 1242 SF
	7154 SF

PRIMATE O.S.	
1 2BEDROOM	220 1176 SF
2 2BEDROOM	221 1161 SF
3 2BEDROOM	222 1186 SF
4 2BEDROOM	223 1118 SF
5 2BEDROOM	224 1269 SF
6 2BEDROOM	225 1242 SF
	831 SF

- LEGEND**
- COMMON OPEN SPACE
 - ADDITIONAL OPEN SPACE
 - COMMON AREAS
 - HAIR SALON
 - OFFICE
 - LIVE/WORK
 - RESIDENTIAL
 - PRIVATE OPEN SPACE
 - ACCESS
 - FTP PLANTER
 - REGULAR PLANTER

① 2ND / 1ST RES. FLOOR PLAN
1/16" = 1'-0"

EVERY UNIT SHALL HAVE A CEILING FAN OPERABLE TRANSOM ABOVE ENTRY @ UNITS W/ MORE THAN 5' DEPTH DOORS TYP.

WRITTEN AREAS ON PLANS ARE "NET" SQUARE FOOTAGE, ONLY AREAS IN FAR TABLE ARE FOR FAR CALCULATIONS & ARE DIFFERENT FROM THE NET SQUARE FOOTAGE

ALL LIVE/WORK UNITS SHALL COMPLY WITH CBC 2016 SEC. 419

POOL SHALL COMPLY WITH ALL REQUIREMENTS FROM LA COUNTY HEALTH DEPARTMENT

FLOOR (02) Area CC1 Lot / FLOOR (01) Area R4B Lot		GROSS SF
FLOOR AREA INCLUDED IN FAR	CREATIVE OFFICE	6,711
	LIVE/WORK	15,494
	HAIR SALON	3,643
	RESIDENTIAL RECREATION ROOM	892
	RES./COMM. CIRC. (SHARED INCLUDES STAIRS, ELEVATORS)	328
	RESIDENTIAL LOBBY	633
	RESIDENTIAL CIRCULATION (INCLUDES ELEVATORS, TRASH)	155
	TOTAL INCLUDED IN FAR CALC. (CC1 LOT)	29,658
	RESIDENTIAL NOT INCLUDED IN FAR CALC. (R4B LOT)	7,257

NOT FOR CONSTRUCTION

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8555 SANTA MONICA
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JOB ADDRESS
WEST HOLLYWOOD, CA 90068

SHEET TITLE
2ND LEVEL PLAN

ISSUE FOR
PLANNING

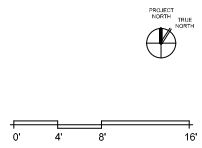
JOB NO.
01020

DATE
APRIL 21 2021

SCALE
As indicated

SHEET **A2.02**

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UNIT COUNT - LEVEL 3		NET AREA - LEVEL 3	
1BEDROOM	11	001	1BEDROOM
2BEDROOM	22	002	1BEDROOM
STUDIO	2	003	2BEDROOM
	35	004	STUDIO
		005	1BEDROOM
		006	2BEDROOM
		007	2BEDROOM
		008	2BEDROOM
		009	STUDIO
		010	2BEDROOM
		011	2BEDROOM
		012	2BEDROOM
		013	2BEDROOM
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		035	STUDIO
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		121	2BEDROOM
		122	2BEDROOM
		123	2BEDROOM
		124	2BEDROOM
		125	2BEDROOM
		126	2BEDROOM
		127	2BEDROOM
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		130	2BEDROOM
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		146	2BEDROOM
		147	2BEDROOM
		148	2BEDROOM
		149	2BEDROOM
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		151	2BEDROOM
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		189	2BEDROOM
		190	2BEDROOM
		191	2BEDROOM
		192	2BEDROOM
		193	2BEDROOM
		194	2BEDROOM
		195	2BEDROOM
		196	2BEDROOM
		197	2BEDROOM
		198	2BEDROOM
		199	2BEDROOM
		200	2BEDROOM

LEGEND

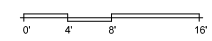
- RESIDENTIAL
- PRIVATE OPEN SPACE
- ACCESS
- FTP PLANTER
- REGULAR PLANTER

EVERY UNIT SHALL HAVE A CEILING FAN OPERABLE TRANSOM ABOVE ENTRY @ UNITS W/ MORE THAN 5' DEPTH DOORS TYP.

WRITTEN AREAS ON PLANS ARE "NET" SQUARE FOOTAGE, ONLY AREAS IN FAR TABLE ARE FOR FAR CALCULATIONS & ARE DIFFERENT FROM THE NET SQUARE FOOTAGE

FLOOR (03) Area CC1 Lot / FLOOR (02) Area R4B Lot	GROSS SF
FLOOR AREA INCLUDED IN FAR	25,387
RESIDENTIAL UNITS (12 ONE BEDROOM & 21 TWO BEDROOM UNITS)	
RESIDENTIAL CIRCULATION (INCLUDES STAIRS, ELEV., TRASH)	422
TOTAL INCLUDED IN FAR CALC. (CC1 LOT)	25,809
RESIDENTIAL NOT INCLUDED IN FAR CALC. (R4B LOT)	7,448

1 3RD / 2ND RES. FLOOR PLAN
1/16" = 1'-0"



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
3RD LEVEL PLAN

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE
As indicated

SHEET **A2.03**

Notes: Drawing shall not be used for construction without the approval of the architect. Contractors shall verify and be responsible for all dimensions and conditions shown to their drawings. Drawings shall be submitted to the office for approval before proceeding with fabrication.



UNIT COUNT - LEVEL 4		NET AREA - LEVEL 4	
2BEDROOM	16	CC1	PRIVATE O.S.
1BEDROOM	19	42	2BEDROOM
	34	43	1BEDROOM
		44	1BEDROOM
		45	1BEDROOM
		46	1BEDROOM
		47	2BEDROOM
		48	2BEDROOM
		49	2BEDROOM
		50	2BEDROOM
		51	2BEDROOM
		52	2BEDROOM
		53	2BEDROOM
		54	2BEDROOM
		55	1BEDROOM
		56	1BEDROOM
		57	1BEDROOM
		58	1BEDROOM
		59	1BEDROOM
		60	1BEDROOM
		61	1BEDROOM
		62	1BEDROOM
		63	2BEDROOM
		64	2BEDROOM
		65	2BEDROOM
		66	1BEDROOM
		67	1BEDROOM
		68	1BEDROOM
		69	1BEDROOM
		70	2BEDROOM
		71	2BEDROOM
		72	2BEDROOM
		73	2BEDROOM
		74	2BEDROOM
		75	2BEDROOM
		R4B	PRIVATE O.S.
		70	2BEDROOM
		71	2BEDROOM
		72	2BEDROOM
		73	2BEDROOM
		74	2BEDROOM
		75	2BEDROOM

LEGEND

- RESIDENTIAL
- PRIVATE OPEN SPACE
- ACCESS

① 4TH / 3RD RES. FLOOR PLAN
1/16" = 1'-0"

EVERY UNIT SHALL HAVE A CEILING FAN OPERABLE TRANSOM ABOVE ENTRY @ UNITS W MORE THAN 5' DEPTH DOORS TYP.
WRITTEN AREAS ON PLANS ARE "NET" SQUARE FOOTAGE, ONLY AREAS IN FAR TABLE ARE FOR FAR CALCULATIONS & ARE DIFFERENT FROM THE NET SQUARE FOOTAGE

FLOOR (04) Area CC1 Lot / FLOOR (03) Area R4B Lot		GROSS SF
FLOOR AREA INCLUDED IN FAR	RESIDENTIAL UNITS (15 ONE BEDROOM & 17 TWO BEDROOM UNITS)	23,833
	RESIDENTIAL CIRCULATION (INCLUDES STAIRS, ELEV., CORR., TRASH)	420
	TOTAL INCLUDED IN FAR CALC. (CC1 LOT)	24,053
	RESIDENTIAL NOT INCLUDED IN FAR CALC. (R4B LOT)	7,445

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
4TH LEVEL PLAN

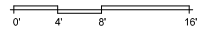
ISSUE FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE
As indicated

SHEET **A2.04**





UNIT COUNT - LEVEL 5		NET AREA - LEVEL 5	
1BEDROOM	14	001	PRIVATE O.S.
2BEDROOM	12	76 1BEDROOM	501 968 SF 678 SF
STUDIO	4	77 1BEDROOM	502 922 SF 632 SF
	30	78 1BEDROOM	503 968 SF 695 SF
		79 STUDIO	504 492 SF 511 SF
		80 STUDIO	505 473 SF 332 SF
		81 STUDIO	506 525 SF 588 SF
		82 2BEDROOM	507 1603 SF 1231 SF
		83 2BEDROOM	508 1028 SF 140 SF
		84 2BEDROOM	509 987 SF 139 SF
		85 1BEDROOM	510 718 SF 139 SF
		86 STUDIO	511 558 SF 122 SF
		87 1BEDROOM	512 708 SF 147 SF
		88 1BEDROOM	513 632 SF 160 SF
		89 1BEDROOM	514 562 SF 134 SF
		90 1BEDROOM	515 550 SF 120 SF
		91 1BEDROOM	516 613 SF 121 SF
		92 1BEDROOM	517 648 SF 237 SF
		93 1BEDROOM	518 828 SF 147 SF
		94 2BEDROOM	519 828 SF 147 SF
		95 2BEDROOM	520 828 SF 145 SF
		96 1BEDROOM	521 658 SF 133 SF
		97 1BEDROOM	522 658 SF 131 SF
		98 1BEDROOM	523 652 SF 124 SF
		99 1BEDROOM	524 714 SF 136 SF
		R48	18147 SF 6271 SF
		100 1BEDROOM	525 1278 SF 180 SF
		101 2BEDROOM	526 1161 SF 130 SF
		102 2BEDROOM	527 1222 SF 134 SF
		103 1BEDROOM	528 1132 SF 131 SF
		104 2BEDROOM	529 1293 SF 184 SF
		105 2BEDROOM	530 1239 SF 172 SF
			7522 SF 911 SF

LEGEND

- RESIDENTIAL
- PRIVATE OPEN SPACE
- ACCESS

① 5TH / 4TH RES. FLOOR PLAN
 1/16" = 1'-0"

EVERY UNIT SHALL HAVE A CEILING FAN OPERABLE TRANSOM ABOVE ENTRY @ UNITS W/ MORE THAN 5' DEPTH DOORS TYP.
 WRITTEN AREAS ON PLANS ARE "NET" SQUARE FOOTAGE, ONLY AREAS IN FAR TABLE ARE FOR FAR CALCULATIONS & ARE DIFFERENT FROM THE NET SQUARE FOOTAGE

FLOOR (05) Area C01 Lot / FLOOR (04) Area R4B Lot		GROSS SF
FLOOR AREA INCLUDED IN FAR	RESIDENTIAL UNITS (13 ONE BEDROOM & 14 TWO BEDROOM UNITS)	19,046
	RESIDENTIAL CIRCULATION (INCLUDES STAIRS, ELEV., CORR, TRASH)	414
	TOTAL INCLUDED IN FAR CALC. (C01 LOT)	19,460
	RESIDENTIAL NOT INCLUDED IN FAR CALC. (R4B LOT)	7,427

NOT FOR CONSTRUCTION

JOB TITLE
 8555 SANTA MONICA
 MIXED USE DEVELOPMENT

JOB ADDRESS
 WEST HOLLYWOOD, CA 90068

SHEET TITLE
 5TH LEVEL PLAN

ISSUE FOR
 PLANNING

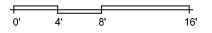
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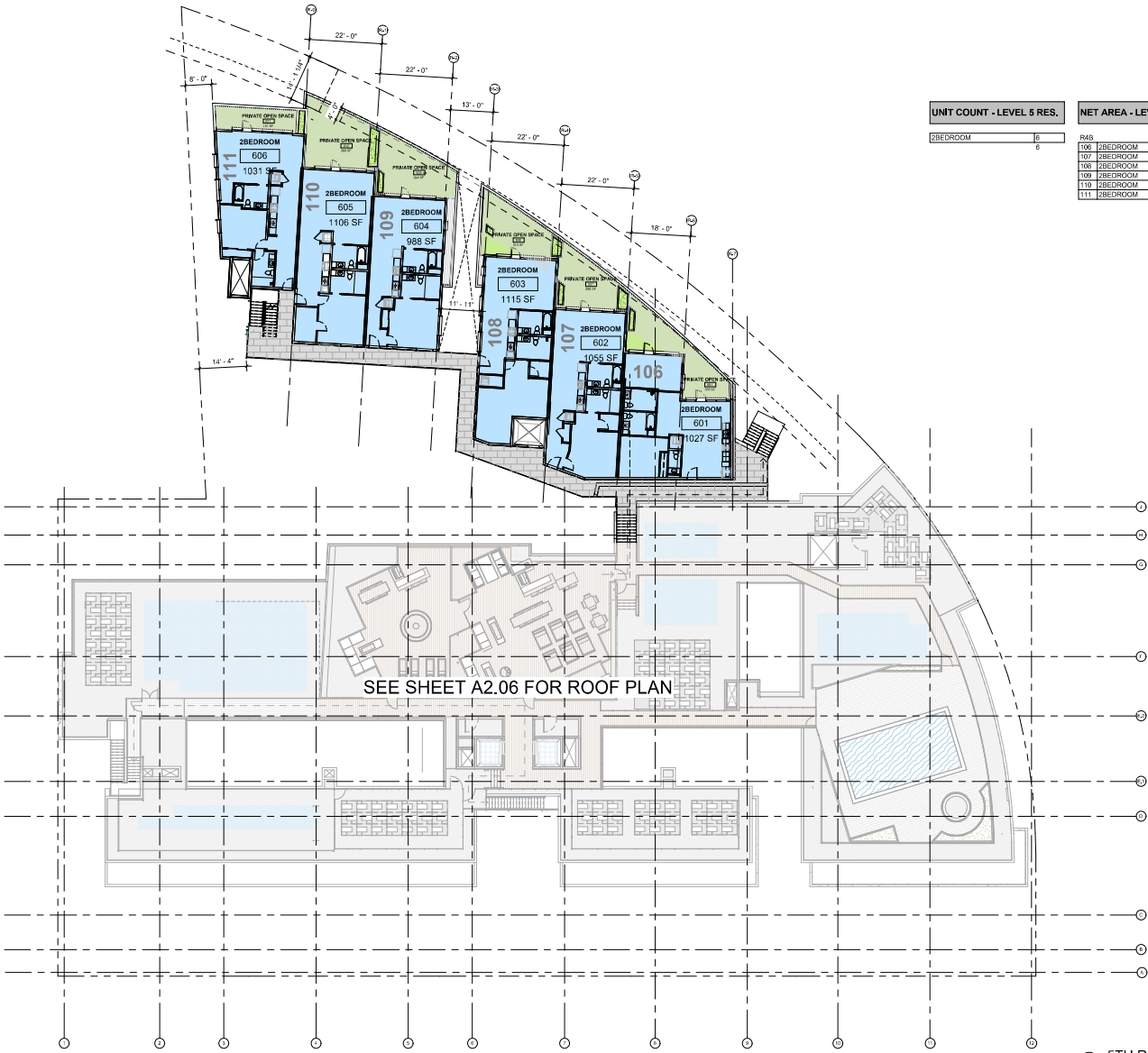
DATE
 APRIL 21 2021

SCALE
 As indicated

SHEET **A2.05**

Notes: drawings are for informational purposes only. Drawings shall not be used for construction without the approval of the architect. Contractors shall verify and be responsible for all dimensions and conditions prior to their starting. Drawings shall be submitted to the office for approval before proceeding with fabrication.





UNIT COUNT - LEVEL 5 RES.

2BEDROOM	6
----------	---

NET AREA - LEVEL 5 RES.

R4B	PRIVATE O.S.	PRIVATE O.S.
106 2BEDROOM	601	1027 SF 258 SF
107 2BEDROOM	602	1055 SF 258 SF
108 2BEDROOM	603	1115 SF 318 SF
109 2BEDROOM	604	988 SF 244 SF
110 2BEDROOM	605	1108 SF 389 SF
111 2BEDROOM	606	1031 SF 191 SF
		8521 SF 1696 SF

LEGEND

	RESIDENTIAL
	PRIVATE OPEN SPACE
	ACCESS

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
5TH LEVEL PLAN
RESIDENTIAL
ISSUE FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

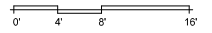
SCALE As indicated

EVERY UNIT SHALL HAVE A CEILING FAN
OPERABLE TRANSOM ABOVE ENTRY @ UNITS W/ MORE THAN 5' DEPTH DOORS TYP.

WRITTEN AREAS ON PLANS ARE "NET" SQUARE FOOTAGE, ONLY AREAS IN FAR TABLE ARE
FOR FAR CALCULATIONS & ARE DIFFERENT FROM THE NET SQUARE FOOTAGE

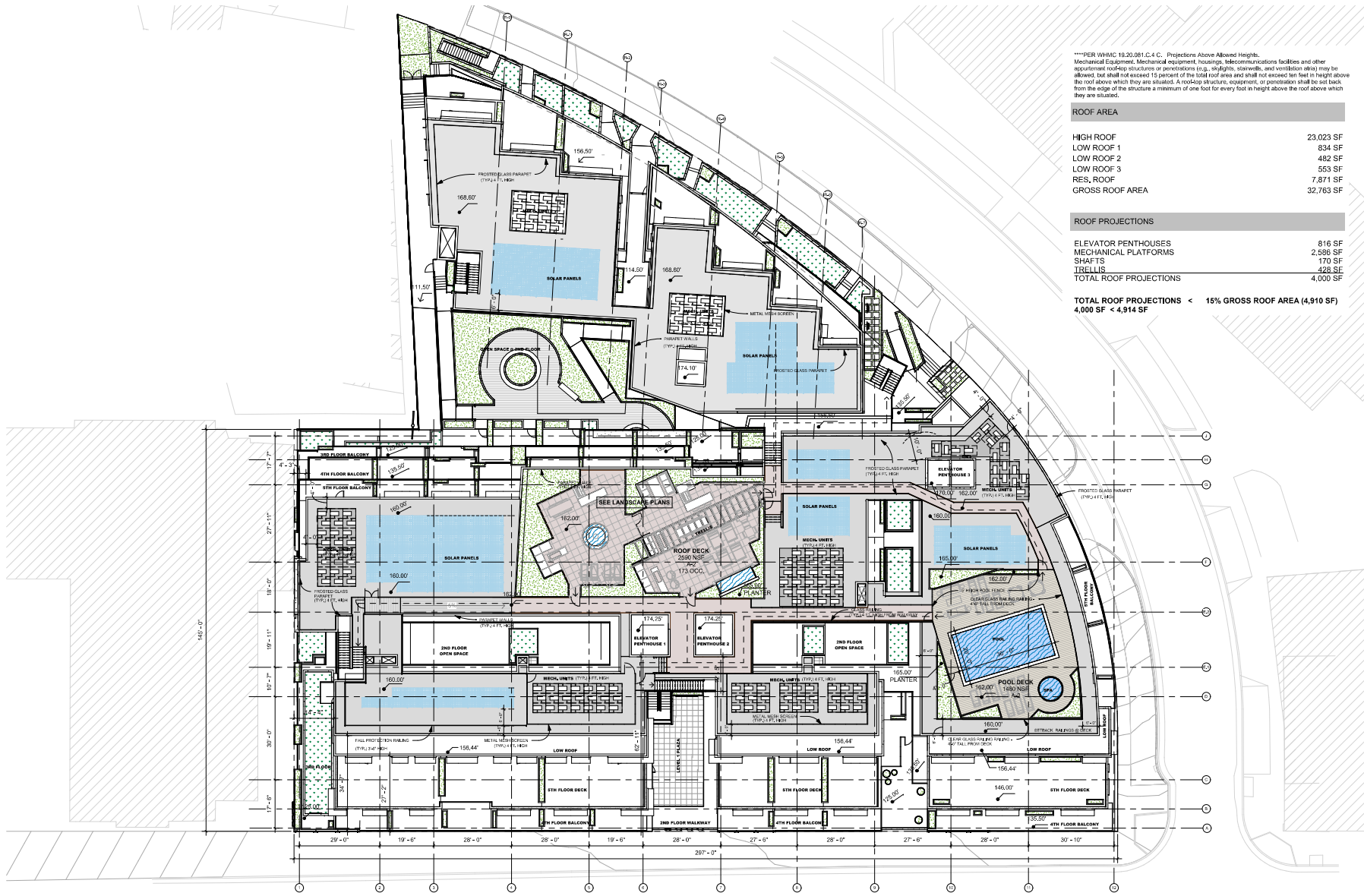
FLOOR (05) Area R4B Lot	RESIDENTIAL NOT INCLUDED IN FAR CALC. (R4B LOT)	GROSS SF
		6,422

① 5TH RES. FLOOR PLAN
1/16" = 1'-0"



SHEET A2.05-5

Works shown on this drawing are preliminary and subject to change without notice. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their starting. These sheets must be submitted to the office for approval before proceeding with fabrication.



****PER WHMC 18.20.061.C.4.C. Projections Above Allowed Height: Mechanical Equipment, Mechanical equipment housings, telecommunications facilities and other appurtenant out-of-roof structures or penetrations (e.g., skylights, stairwells, and ventilation areas) may be allowed, but shall not exceed 15 percent of the total roof area and shall not exceed ten feet in height above the roof above which they are situated. A roof-top structure, equipment, or penetration shall be set back from the edge of the structure a minimum of one foot for every foot in height above the roof above which they are situated.

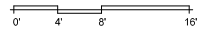
ROOF AREA	
HIGH ROOF	23,023 SF
LOW ROOF 1	934 SF
LOW ROOF 2	482 SF
LOW ROOF 3	553 SF
RES. ROOF	7,871 SF
GROSS ROOF AREA	32,763 SF

ROOF PROJECTIONS	
ELEVATOR PENTHOUSES	816 SF
MECHANICAL PLATFORMS	2,586 SF
SHAFTS	170 SF
TRELLIS	428 SF
TOTAL ROOF PROJECTIONS	4,000 SF

TOTAL ROOF PROJECTIONS < 15% GROSS ROOF AREA (4,910 SF)
4,000 SF < 4,914 SF

• SOLAR PV PANELS TO PROVIDE MIN 10KW
 • INSTALL DURABLE ROOF WITH LONG-TERM WARRANTY OR DEMONSTRATED LONG TERM DURABILITY (15 YR WARRANTY FOR BUILT-UP ROOF, METAL)

① ROOF PLAN
1/16" = 1'-0"



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
ROOF PLAN

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
APRIL 21 2021

SCALE
1/16" = 1'-0"

SHEET **A2.06**

Works shown on this drawing are the property of the architect. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their starting. The client must be submitted to the office for approval before proceeding with fabrication.