

Appendix B

Site Plans, Elevations, Renderings, and Landscaping Plan

MARCH 15 2021

dfh
architects
interiors
entitlements

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NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
COVER SHEET

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE

SHEET **A000**

Works shown are preliminary and not for construction. Drawings shall not be used. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their activity. This sheet must be submitted to the office for approval before proceeding with fabrication.

BUILDING CODE INFORMATION
APPLICABLE CODES
2019 CALIFORNIA BUILDING CODE (BASED ON 2019 IBC)(CBC)
PROJECT WILL COMPLY WITH 2019 CALIFORNIA BUILDING CODE CHAPTER 11A 1.16 FOR ACCESSIBILITY REQUIREMENTS
2019 CALIFORNIA MECHANICAL CODE (BASED ON 2015 IMC)
2019 CALIFORNIA PLUMBING CODE (BASED ON 2015 UPC)
2019 CALIFORNIA ELECTRICAL CODE (I)
2019 CALIFORNIA GREEN BUILDING CODE
2019 CALIFORNIA FIRE CODE (FC)
2019 CALIFORNIA REFERENCED STANDARDS CODE, PART 12 TITLE 24 C.C.R.
2019 CALIFORNIA ENERGY CODE, TITLE 24, PART 6

PLANNING CODE INFORMATION
ZONING
Multifamily Residential Lot R4B
Commercial Community Lot CC1
SETBACKS- WHMC 19.10.040 Table 2-6
COMMERCIAL REQUIRED PROPOSED
Front none 0'-0"
Side 10'-0" (Req. Side) 5'-0" (Req. Side) 5'-0" (Proposed at west side)
Rear below 35' height 10'-0" (Req. Rear) 10'-0" (Proposed)
Rear above 35' height If the proposed project is adjacent to an R-1, R-2, R-3, or R-4 residential zoning district, the 25 feet of the structure located closest to the residential zoning district shall be limited to 35 feet in height, and the impact of the structure shall be mitigated to the satisfaction of the Commission with architectural, or additional landscape treatment; This project is adjacent to a Residential zone only at the rear of the property.
Street side, corner lot No minimum required; a maximum of 25 ft. is allowed
RESIDENTIAL REQUIRED PROPOSED
Front Average of front setbacks of the 2 structures closest to the front property lines on the 2 adjacent parcels, with no maximum for lots located in R4B zone; If a parcel on either side of the site is not zoned residential, or if the site is a corner lot, the first two adjacent residential lots shall be used for the purposes of calculating the average setback. Average of 2 Adjacent residential lots: 14.42 + 13.69 = 28.11 / 2 = 14.1'
Side 5 ft.+ For all lots: An additional 1 ft. setback is required for each story above the 2nd story. 5'-0" + 1" + 1" = 8'-0" Required @ 1 side 8'-0"
Rear None required; Residential Lot and Commercial Lots are tied together 0'-0"

PROJECT INFORMATION
PROJECT ADDRESS: 8555 SANTA MONICA BLVD. WEST HOLLYWOOD, CA 90069
LOT: LOT 5 LOT 6 LOT 7 LOT 8 LOT 8-11
ASSESSOR PARCEL NO: APN 4339-005-013 APN 4339-005-010 APN 4339-005-011 APN 4339-005-012 APN 4339-005-013 APN 5339-005-025
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ARCHITECTURAL 03/15/21
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A0.01b PROJECT DATA
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VICINITY MAP
AERIAL MAP N.T.S.
PROJECT SITE
VICINITY MAP N.T.S.
LANDSCAPE
L-1.0 1ST GROUND FLOOR LANDSCAPE PLAN
L-1.1 2ND FLOOR LANDSCAPE PLAN
L-1.2 3RD FLOOR LANDSCAPE PLAN
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L-1.5 ROOF LANDSCAPE PLAN
L-1.6 PROPOSED PLANT MATERIAL

ARCHITECTURAL ABBREVIATIONS
A.C. Area Cabinet
A.D. Area Drain
A.D.J. Adjustable Drainage
A.G. Aluminum Gypsum
A.P. Architectural
A.S.P. Asphalt
B.D. Beant
B.L.M. Blumount
B.L.C. Block
B.M. Beam
B.O.T. Bottom
C.A.B. Cabinet
C.B. Cabin Beam
C.E.M. Cement
C.O. On Center
C.I. Cast Iron
C.L.G. Caulking
C.L.D. Closet
C.L.R. Clear
C.C. Counts
C.O.N.C. Concrete
C.O.N.N. Construction
C.O.N.T. Construction
C.O.R.K. Corker
C.T.S.K. Countersink
C.H.T.R. Center
D.B.L. Double
D.E.P.T. Drilling Point
D.T.L. Detail
D.M. Dimension
D.S.P. Dispenser
D.N. Down
D.O. Door Opening
D.R. Drawer
D.N.R. Drawer
D.S. Downspout
D.S.P. Dry Standpipe
D.W.G. Draining
E. East
E.A. Each
E.B. Expansion Joint
E.L.E.C. Electrical
E.L.E.V. Elevator
E.M.E.R. Emergency
E.N.C.L. Enclosure
E.P. Electrical Water Cooler
E.X.I.S.T. Existing
E.X.P. Exposed
E.X.T. Exterior
F.A. Fire Alarm
F.B. Fall Bar
F.D. Floor Drain
F.O.N. Foundation
F.E. Fire Extinguisher
F.F. Fire Extinguisher Cabinet
F.F. Finished Floor
F.N. Finish
F.L. Floor
F.L.A.S.H. Flashing
F.L.U.O.R. Fluorescent
F.O.C. Face of Concrete
F.O.F. Face of Frame
F.O.S. Face of Studs
F.P.F. Finish
F.S. Fresh Surface
F.T.G. Furring
F.U.T. Future
G.A. Gage
G.A.L.V. Galvanized
G.B. Grab Bar
G.L. Glass
G.N.D. Ground
G.R. Grade
G.Y.P. Gypsum
H.B. Hose Bibb
H.C. Hollow Core
H.C.W. Handicapped
H.M. Hollow Metal
H.O.R.Z. Horizontal
H.R. Hour
H.C.T. Height
H.P. High Point
I.D. Inside Diameter (Dim.)
I.N.S.U. Insulation
I.N.T. Inseor
J.A.N. Janitor
J.J. Joint
W. West
W.I. Width
W.C. Water Closet
W.C. Wood
W.F. Without
W.S.C.T. Wallcoat
W.S.T. Weir

PROGRAM SUMMARY FLOOR AREA
PROGRAM: SUMMARY OF PROPOSED FLOOR AREA INCLUDED IN FAR SF
BASEMENT PARKING (-1) COMMERCIAL AND RESIDENTIAL PARKING 0
FIRST FLOOR (01) COMMERCIAL USES AND COMMERCIAL PARKING 19,784
MEZZANINE (1.5) RESIDENTIAL PARKING 897
SECOND FLOOR (02) COMMERCIAL AND RESIDENTIAL USES 28,056
THIRD FLOOR (03) RESIDENTIAL 25,809
FOURTH FLOOR (04) RESIDENTIAL 24,053
FIFTH FLOOR (05) RESIDENTIAL 19,460
TOTAL FOUR AREA PROPOSED ON COMMERCIAL LOT (CC1) 118,059
TOTAL RESIDENTIAL UNIT AREA ON R4B LOT 36,000
TOTAL RESIDENTIAL STORAGE AREA ON R4B LOT 4,777
TOTAL PROJECT FLOOR AREA 158,836

BUILDING HEIGHT
R4B HEIGHT ALLOWABLE PROPOSED
Affordable Housing Height Bonus: 4 Stories, 45'-0"
Total R4B Height: 53'-0" (5 Stories)
CC1 HEIGHT ALLOWABLE PROPOSED
CC1 zoning: 3 Stories, 35'-0"
Mixed Use Height Bonus: 1 Story, 10'-0"
Affordable Housing Height Bonus: 1 Story, 10'-0"
Total CC1 Height: 55'-0" (5 Stories)
INCLUSIONARY HOUSING W.H.M.C. 19.22.030
*Projects of Ten or Fewer Units, One unit.

NOT FOR CONSTRUCTION
JOB TITLE: SANTA MONICA & WEST KNOLL MIXED USE BUILDING
JOB ADDRESS: 8555 SANTA MONICA BLVD WEST HOLLYWOOD, CA 90069
SHEET TITLE: PROJECT DATA
ISSUED FOR: PLANNING
JOB NO: 01020
DATE: March 15 2021
SCALE: A0.01a

NET AREA IS MEASURED FROM FINISH TO FINISH

RESIDENTIAL NET AREA				
COUNT	UNIT TYPE	UNIT #	NET AREA	PRIVATE O.S

level 2 -

R4B 1ST RESIDENTIAL FLOOR

1	2BEDROOM	220	1,176 SF	207 SF
2	2BEDROOM	221	1,161 SF	120 SF
3	2BEDROOM	222	1,186 SF	126 SF
4	2BEDROOM	223	1,118 SF	120 SF
5	2BEDROOM	224	1,269 SF	141 SF
6	2BEDROOM	225	1,242 SF	136 SF
			7,154 SF	851 SF

level 3 -

CC1

7	2BEDROOM	301	854 SF	140 SF
8	1BEDROOM	302	803 SF	132 SF
9	1BEDROOM	303	792 SF	139 SF
10	1BEDROOM	304	803 SF	132 SF
11	1BEDROOM	305	803 SF	127 SF
12	2BEDROOM	306	918 SF	153 SF
13	2BEDROOM	307	854 SF	142 SF
14	2BEDROOM	308	853 SF	141 SF
15	STUDIO	309	435 SF	145 SF
16	2BEDROOM	310	1,721 SF	968 SF
17	2BEDROOM	311	1,093 SF	126 SF
18	2BEDROOM	312	1,026 SF	134 SF
19	2BEDROOM	313	981 SF	137 SF
20	1BEDROOM	314	693 SF	128 SF
21	1BEDROOM	315	588 SF	134 SF
22	1BEDROOM	316	757 SF	122 SF
23	1BEDROOM	317	613 SF	158 SF
24	1BEDROOM	318	562 SF	134 SF
25	1BEDROOM	319	549 SF	120 SF
26	1BEDROOM	320	761 SF	133 SF
27	2BEDROOM	321	897 SF	206 SF
28	2BEDROOM	322	954 SF	216 SF
29	2BEDROOM	323	954 SF	218 SF
30	2BEDROOM	324	915 SF	128 SF
31	2BEDROOM	325	861 SF	131 SF
32	2BEDROOM	326	863 SF	132 SF
33	2BEDROOM	327	863 SF	133 SF
34	2BEDROOM	328	1,056 SF	341 SF
35	STUDIO	329	410 SF	126 SF

R4B 2ND RESIDENTIAL FLOOR -

36	2BEDROOM	330	1,277 SF	164 SF
37	2BEDROOM	331	1,168 SF	139 SF
38	2BEDROOM	332	1,224 SF	186 SF
39	2BEDROOM	333	1,130 SF	148 SF
40	2BEDROOM	334	1,293 SF	137 SF
41	2BEDROOM	335	1,242 SF	191 SF
			31,568 SF	6,141 SF

RESIDENTIAL NET AREA				
COUNT	UNIT TYPE	UNIT #	NET AREA	PRIVATE O.S

level 4 -

CC1

42	2BEDROOM	401	818 SF	210 SF
43	1BEDROOM	402	776 SF	146 SF
44	1BEDROOM	403	746 SF	184 SF
45	1BEDROOM	404	776 SF	143 SF
46	1BEDROOM	405	776 SF	143 SF
47	2BEDROOM	406	828 SF	155 SF
48	2BEDROOM	407	829 SF	162 SF
49	2BEDROOM	408	824 SF	144 SF
50	2BEDROOM	409	825 SF	164 SF
51	2BEDROOM	410	1,597 SF	537 SF
52	2BEDROOM	411	1,093 SF	134 SF
53	2BEDROOM	412	1,025 SF	121 SF
54	2BEDROOM	413	985 SF	132 SF
55	1BEDROOM	414	698 SF	134 SF
56	1BEDROOM	415	589 SF	126 SF
57	1BEDROOM	416	754 SF	125 SF
58	1BEDROOM	417	620 SF	158 SF
59	1BEDROOM	418	563 SF	134 SF
60	1BEDROOM	419	550 SF	120 SF
61	1BEDROOM	420	618 SF	122 SF
62	1BEDROOM	421	733 SF	170 SF
63	2BEDROOM	422	924 SF	127 SF
64	2BEDROOM	423	924 SF	138 SF
65	2BEDROOM	424	919 SF	136 SF
66	1BEDROOM	425	661 SF	233 SF
67	1BEDROOM	426	661 SF	279 SF
68	1BEDROOM	427	661 SF	279 SF
69	1BEDROOM	428	775 SF	355 SF

R4B 3RD RESIDENTIAL FLOOR -

70	2BEDROOM	429	1,276 SF	175 SF
71	2BEDROOM	430	1,168 SF	142 SF
72	2BEDROOM	431	1,222 SF	183 SF
73	2BEDROOM	432	1,131 SF	147 SF
74	2BEDROOM	433	1,293 SF	172 SF
75	2BEDROOM	434	1,253 SF	182 SF
			29,892 SF	6,012 SF

RESIDENTIAL NET AREA				
COUNT	UNIT TYPE	UNIT #	NET AREA	PRIVATE O.S

level 5 -

CC1

76	1BEDROOM	501	968 SF	678 SF
77	1BEDROOM	502	922 SF	632 SF
78	1BEDROOM	503	951 SF	665 SF
79	STUDIO	504	482 SF	351 SF
80	STUDIO	505	473 SF	332 SF
81	STUDIO	506	525 SF	358 SF
82	2BEDROOM	507	1,605 SF	1,231 SF
83	2BEDROOM	508	1,026 SF	140 SF
84	2BEDROOM	509	987 SF	139 SF
85	1BEDROOM	510	708 SF	139 SF
86	STUDIO	511	556 SF	122 SF
87	1BEDROOM	512	705 SF	127 SF
88	1BEDROOM	513	632 SF	160 SF
89	1BEDROOM	514	562 SF	134 SF
90	1BEDROOM	515	550 SF	120 SF
91	1BEDROOM	516	613 SF	121 SF
92	1BEDROOM	517	648 SF	207 SF
93	2BEDROOM	518	829 SF	147 SF
94	2BEDROOM	519	828 SF	147 SF
95	2BEDROOM	520	828 SF	145 SF
96	1BEDROOM	521	656 SF	123 SF
97	1BEDROOM	522	656 SF	131 SF
98	1BEDROOM	523	652 SF	124 SF
99	1BEDROOM	524	784 SF	196 SF

R4B 4TH RESIDENTIAL FLOOR -

100	2BEDROOM	525	1,278 SF	180 SF
101	2BEDROOM	526	1,161 SF	130 SF
102	2BEDROOM	527	1,222 SF	134 SF
103	2BEDROOM	528	1,132 SF	131 SF
104	2BEDROOM	529	1,293 SF	164 SF
105	2BEDROOM	530	1,238 SF	172 SF
			25,472 SF	7,582 SF

R4B 5TH RESIDENTIAL FLOOR -

106	2BEDROOM	601	1,027 SF	358 SF
107	2BEDROOM	602	1,055 SF	298 SF
108	2BEDROOM	603	1,115 SF	318 SF
109	2BEDROOM	604	988 SF	344 SF
110	2BEDROOM	605	1,106 SF	389 SF
111	2BEDROOM	606	1,031 SF	191 SF
			6,321 SF	1,896 SF
Grand total			100,407 SF	22,483 SF

RESIDENTIAL NET AREA IN CC1 LOT		
Level	Count	NET AREA

level 3	29	24,233 SF
level 4	28	22,549 SF
level 5	24	18,147 SF
	81	64,929 SF

RESIDENTIAL NET AREA IN R4B LOT		
Level	Count	NET AREA

level 2	6	7,154 SF
level 3	6	7,335 SF
level 4	6	7,343 SF
level 5	6	7,325 SF
Roof	6	6,321 SF
	30	35,478 SF

STUDIO UNITS		
COUNT	N.S.F	AVRG. SIZE

6	2,882 SF	240 SF
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1BEDROOM UNITS		
COUNT	N.S.F	AVRG. SIZE

41	28,690 SF	820 SF
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2BEDROOM UNITS		
COUNT	N.S.F	AVRG. SIZE

64	68,834 SF	1,377 SF
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ALL UNITS		
COUNT	N.S.F	AVRG. SIZE

111	100,407 SF	1,035 SF
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SHEET TITLE
RESIDENTIAL UNITS
INFO
ISSUE FOR
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DATE
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SCALE

SHEET **A0.01c**

Notes: drawings are for informational purposes only. Contractors shall verify and be responsible for all dimensions and conditions prior to their starting work. Drawings must be submitted to the office for approval before proceeding with fabrication.

WEST HOLLYWOOD GREEN BUILDING PROGRAM POINT SYSTEM

8555 Santa Monica Blvd. CATEGORY & POINTS AVAILABLE		GREEN DESIGN OR PRODUCT DESCRIPTION	POINTS REC'D	PAGE NUMBER ON PLANS/COMMENTS	
SITE LOCATION		Locate buildings close to existing services to reduce environmental impacts from transportation and fully utilize infrastructure. Preserve or restore existing natural resources or amenities on the site. Ensure that the building is equipped to support recycling, alternative transportation, water conservation and other operations components.			
Total Points Available	1 to 3	G801 Preserve Existing Trees Over 6" Diameter (1 pt/tree; 3 pts max.)			
	1	G802 Use Recycled Content Mulch or Other Landscape Amendments	1	See Landscape Notes	
			1		
NATURAL HEATING + COOLING		Reduce energy loads while maintaining comfort through passive design strategies. Increase interior comfort and health through adequate ventilation.			
Total Points Available	5	G803 Plant Deciduous Canopy Trees (min. 36" box, planted in the ground) on Exposed West and/or South Elevations (1 pt/tree, 5 pts max.)			
	5	G804 Provide Narrow Floor Plates (max. 50 ft. depth) and/or Courtyards to Enable Natural Ventilation	5	See dimensions on A2.01 & A2.02 for typical floor plans; floor plates range from 30'-8" to 45'-6" <50' ✓	
	2	G805 Provide Operable Windows to Enable Natural Cross Ventilation (min. 20% of total window area)	2	See A3.01, A3.02 ✓	
	2	G806 Install Exterior Shading Devices on South- and/or West-Facing	2	See renderings and elevations ✓	
	2	G807 Provide Ceiling Fans (1 pt for each 50% of units or floor area served; 2 points max.)	2	To be shown in reflected ceiling plans ✓	
	3	G808 Biminate Air Conditioning (available only if points for narrow floor plates, operable windows, and exterior shading are incorporated)			
				11	
	FOUNDATION		Reduce resources used and encourage use of recycled-content materials.		
Total Points Available	1	G809 Use Recycled-Content Base or Backfill Material	1	To be indicated in Civil and Structural Specifications ✓	
	3	G810 Incorporate Flyash or Slag Ash in Concrete (min. 15%)	3	To be indicated in Structural Specifications ✓	
	2	G811 Increase Flyash Percentage (1 pt for each additional 5%)	1	To be indicated in Structural Specifications	
			5		
STRUCTURAL FRAME		Reduce the amount of old growth sawn wood (wider than 3x and taller than 8x) used in framing, encourage ecologically sensitive forestry, and encourage alternate framing techniques.			
Total Points Available	5	G812 Use Engineered Lumber or Steel for minimum of 90% of subfloors, sheathing, floor joists, beams, headers, and trusses, as applicable.	5	To be indicated in Structural Specifications ✓	
	2	G813 Use Engineered Vertical Wood Studs			
	5	G814 Use FSC-Certified Wood for Framing (1 pt for every 10% of framing lumber; max. 5 pts)			
	2	G815 Use Structural Insulated Panels (SIPs)			
				5	
PLUMBING		Increase the water efficiency of plumbing fixtures and reduce energy used for water heating.			
Total Points Available	1	G816 Insulate the full length of all hot water pipes	1	To be indicated in Plumbing Specifications ✓	
	1	G817 Install Low-Flow Showerheads (< 2.5 gpm)	1	To be indicated in Plumbing Specifications ✓	
	1	G818 Install Water Efficient Kitchen & Bathroom Faucets (<2.5 gpm)	1	To be indicated in Plumbing Specifications ✓	
	1	G819 Install Water Efficient Toilets (Dual-flush or <1.3 gpf)	1	To be indicated in Plumbing Specifications ✓	
	2	G820 Install Water Efficient Urinals (1 pt for 0.5 gpf, 2pts for water-free)	2	To be indicated in Plumbing Specifications ✓	
	2	G821 Install Tankless Water Heaters	2	To be indicated in Plumbing Specifications ✓	
				8	
INSULATION		Reduce energy losses through the building envelope and improve occupant comfort. Promote better indoor air quality. Increase use of recycled content and rapidly renewable materials.			
Total Points Available	1	G822 Install Formaldehyde-Free, Recycled-Content (min. 25%) Insulation	1	To be indicated in Architectural Specifications ✓	
	2	G823 Install Cellulose, Cotton Batt, Bio-Based Foam in walls (min. 60% of insulation)			
	2	G824 Install Cellulose, Cotton Batt, Bio-Based Foam in ceilings (min. 60% of insulation)			
			5		
ENERGY EFFICIENCY + RENEWABLE ENERGY		Reduce climate change impacts of building operation by increasing overall building energy efficiency and generating renewable energy. Provide for the future installation of renewable energy systems.			
Total Points Available	5	G825 Exceed Title 24 Energy Code by 5%	5	Title 24 Calculations will be provided ✓	
	15	G826 Exceed Title 24 Energy Code by More Than 5% (1 pt for each additional 1% above 5%; max. 15 pts)	10	Title 24 Calculations will be provided	
	3	G827 Participate in Energy Star (residential) or Savings By Design (commercial) Programs	3	Title 24 Calculations will be provided ✓	
	1	G828 Pre-Plumb and Provide Conduit for Solar Water Heating	1	To be shown in final Electrical drawings ✓	
	2	G829 Install Solar Water Heating System for Domestic Hot Water			
	2	G830 Install Solar Water Heating System for Pool Heating			
	10	G831 Install Photovoltaic (PV) Panels (1 pt/kW ; max. 10 pts)	5	To be indicated in Electrical Specifications ✓	
	3	G832 Install Energy Star Lighting (50% of total fixtures)	3	To be indicated in Electrical Specifications ✓	
	1	G833 Install Energy Star Exit Signs	1	To be indicated in Electrical Specifications ✓	
	1	G834 Install Energy Star Programmable Thermostats	1	To be indicated in Electrical Specifications ✓	
	1	G835 Install Timer or Photo Sensor for Exterior Lights	1	To be indicated in Electrical Specifications ✓	
	1	G836 Seal all Ducts with Mastic (residential) or install per SMACNA standards (commercial)	1	To be indicated in Electrical Specifications ✓	
				31	

...CONTINUED ON SHEET A0.02b

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MIXED USE BUILDING

JOB ADDRESS
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SHEET TITLE
GREEN BUILDING POINTS

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SHEET **A0.02a**

WEST HOLLYWOOD GREEN BUILDING PROGRAM POINT SYSTEM

ROOFING		Provide roofing materials that are durable, reduce resource use, minimize interior heat gain, provide storm water management, and reduce the urban heat island effect.			
	2	G846	Use Recycled-Content Roofing Materials		
	2	G847	Install Energy Star or Cool Roof		
	3	G848	Install Durable Roof with Long-Term Warranty or Demonstrated Long-Term Durability (40 yr warranty for asphalt shingles, 15 yr warranty for built-up roof, metal or clay tile)		
	6	G849	Install Extensive Vegetated Green Roof (3 pt./each 50% of roof not occupied by mechanical equip. or access stairs)		
	8	G850	Install Intensive Vegetated Green Roof (4 pt./each 50% of roof not occupied by mechanical equip. or access stairs)		
Total Points Available	21		6		
EXTERIOR FINISH		Encourage durable materials that do not require frequent maintenance.			
	3	G851	Use Durable Exterior Finishes (1 pt./30% of exterior area) Including Integral-Color or Uncolored Unpainted Stucco, Fiber-Cement Panels or Siding, Metal Panels or Siding, Composite Wood Panel(Parklex), Glass, and other similar durable finishes.		
	1	G852	Use Recycled-Content or FSC-Certified Outdoor Flooring Materials.		
Total Points Available	4		3		
INTERIOR FINISH		Reduce the use of natural resources, use rapidly renewable materials, and encourage ecologically sensitive forestry.			
	5	G853	Use Exposed Concrete as Finished Floor (1pt./each 20%)		
	3	G854	Use Resource-Efficient Flooring or FSC-Certified Wood Flooring for All Wood Flooring (1pt./30% of floor area). Resource efficient includes rapidly renewable materials, recycled-content carpet or flooring tiles (min. 25% recycled content).		
	3	G855	Use agriculture board, FSC certified, or rapidly renewable cabinetry material		
	1	G856	Use Recycled-Content Countertop Materials (min. 25% recycled content)		
Total Points Available	12		9		
INNOVATIVE DESIGN		Allow for innovation in design, building systems, and materials. Add additional green design principles through innovative approaches.			
Total Points	8		0		
			90		
			60		
			90		
TOTAL POINTS AVAILABLE	160				
CATEGORY & POINTS AVAILABLE		GREEN DESIGN OR PRODUCT DESCRIPTION		POINTS RECD	PAGE NUMBER ON PLANS
MANDATORY POINTS					
New Code Requirements as part of Green Building Ordinance, effective October 1, 2007	0	G857	Provide Secure Bike Parking (1 space/7 employees or 10,000 sq. ft. or 1 space/ 4 dwelling units).	NA	See Sheet A2.00 Garage level plan
	0	G858	Label Storm Drains Adjacent to the Property.	NA	See Sheet A1.00 Survey
	0	G859	Provide Roof Location and Install Conduit from Roof to Electrical Room for Future Photovoltaic System (PV) Installation.	NA	See sheet A2.06 -Roof area that is not used for common open space is constructed as green roof (2000sf).Some of this area can also be allocated to PV system but size and number of panels will be determined during CDS.
	0	G860	Install Energy Star Appliances - Refrigerator, Washing Machine, Dishwasher.	NA	To be indicated in Architectural Specifications
	0	G861	Provide Construction Air Quality Management Plan in Specs (at a minimum protect ducts during construction and change filters and vacuum ducts prior to occupancy).	NA	To be indicated in Architectural Specifications
	0	G862	Use Low-VOC Interior Paints and Wood Finishes (<= 50 g/l flat; <= 150 g/l non-flat).	NA	To be indicated in Architectural Specifications
	0	G863	Provide owner or tenant with a Green Features/Benefits Manual.	NA	To be provided
	0	G864	Provide Space for the Collection and Storage of Recyclables.	NA	See Sheet A1.10 site plan for trash and recycling storage location
	0	G865	Provide preferential parking for alternative fuel vehicles (min. 2% of total spaces for commercial lots with more than 25 spaces).	NA	To be provided in final parking plans
	0	G866	Divert Construction and Demolition Waste (min. of 80%).	NA	To be indicated in Architectural Specifications
Existing Code Requirements for Green Building (still applicable)	0	G867	Provide Construction Site Storm Water Management Plan.	NA	To be shown in Civil drawings
	0	G868	Provide Permeable Surfaces in Required Yards (55% of front and 50% of side).	NA	To be indicated in Landscape drawings
	0	G869	Use Infiltration, biofiltration or equivalent flow reduction treatment BMP for the runoff resulting from either the first 0.75 inches of rainfall or the runoff resulting from a continuous rainfall event of 0.2 inches per hour.	NA	To be shown in Civil drawings
	0	G870	Use Drought Tolerant and Native Species for Landscaping.	NA	See Landscape sheets 11.00, 12.00, 13.00, 14.00
	0	G871	Install Water-Efficient Irrigation System.	NA	To be shown in Landscape drawings
	0	G872	Parking Landscaping for Surface Parking Areas - Projects must comply with all applicable requirements. See Section 19.28.100(B) on Parking Area Landscaping Requirements.	NA	NA
	0	G873	Transportation Demand Management - Projects must comply with applicable requirements. See Chapter 10.16 on transportation Demand Management.	NA	NA

NOT FOR CONSTRUCTION

JOB TITLE
SANTA MONICA & WEST KNOLL
MIXED USE BUILDING

JOB ADDRESS
8555 SANTA MONICA BLVD
WEST HOLLYWOOD, CA 90069

SHEET TITLE
GREEN BUILDING POINTS

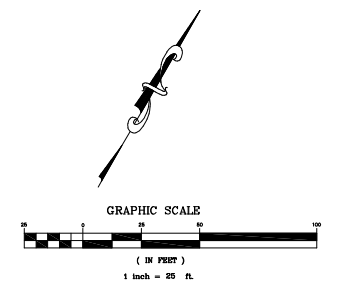
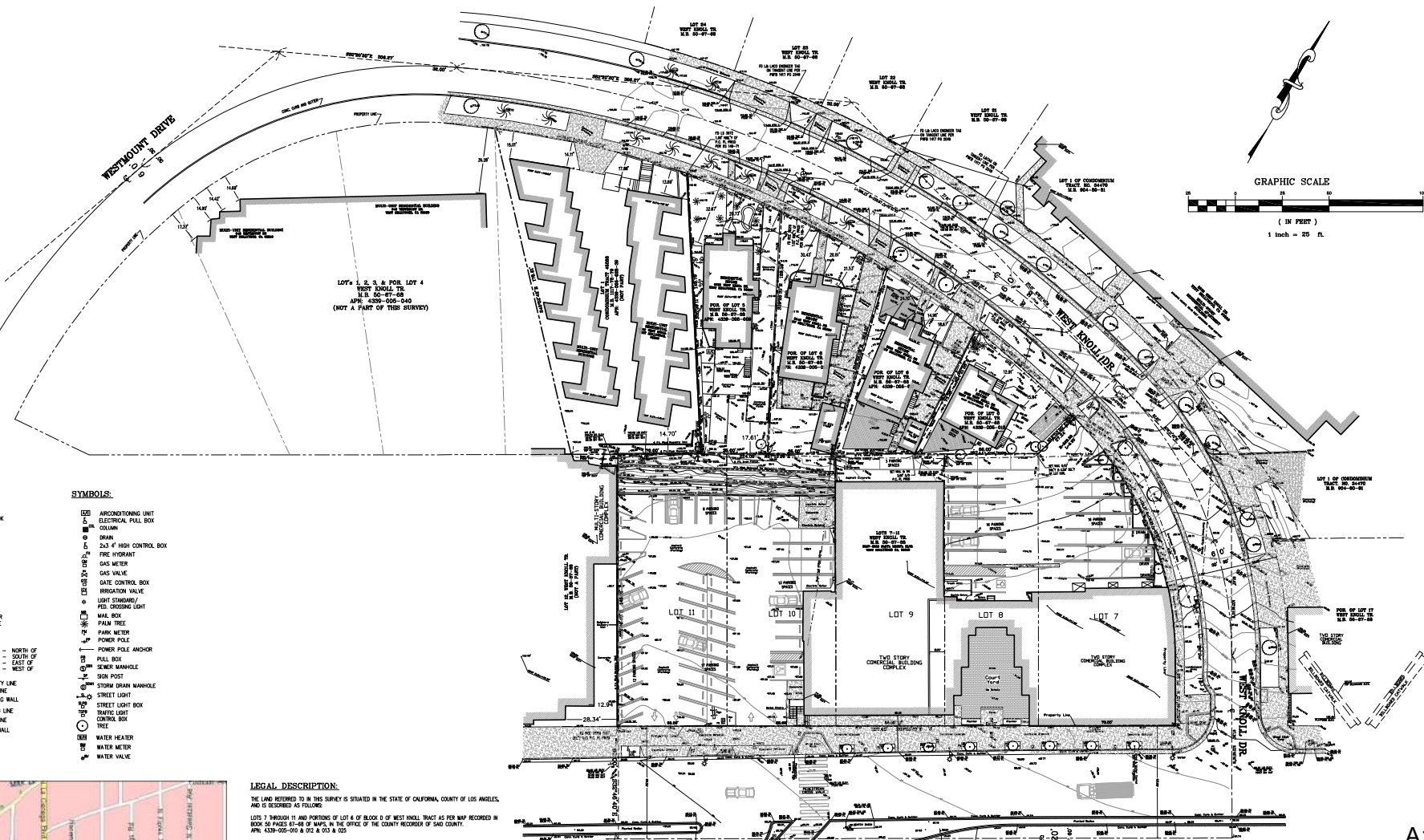
ISSUED FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE

SHEET **A0.02b**



- LEGEND:**
- A.C. - ASPHALT CONCRETE
 - CB - CATCH BASIN
 - CEFB - CITY ENGINEER'S FIELD BOOK
 - C/S/L - CENTERLINE
 - C/C - CONCRETE
 - C/C/C - CONCRETE
 - ELEC - ELECTRIC
 - FF - FLOOR BOOK
 - FF - FOUND
 - FF - FINISH FLOOR ELEV.
 - FL - FLOWLINE ELEV.
 - LS - LAND SURVEYOR
 - L & T - LEAD & TACK
 - M/R - MAP ROOM
 - O/S - OFFSET
 - O/S - PROPERTY CORNER
 - P/C - PACE
 - P/L - PROPERTY LINE
 - R/E - REGISTERED CIVIL ENGINEER
 - S.S.M. - SURVEYOR'S SENSITIVE MANHOLE
 - SE - TOP OF SENSITIVE MANHOLE
 - SE - TRACT MAP
 - TR - TOP OF WALL ELEV.
 - N/E - NORTHERLY N/O - NORTH OF
 - S/E - SOUTHERLY S/O - SOUTH OF
 - E/E - EASTERLY E/O - EAST OF
 - W/E - WESTERLY W/O - WEST OF

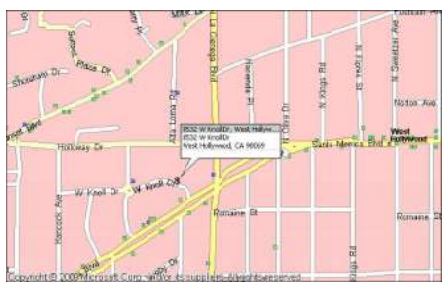
- SYMBOLS:**
- ARC/CONTOURING UNIT
 - ELECTRICAL PULL BOX
 - COLUMN
 - DRAIN
 - 2x3 1/2" HIGH CONTROL BOX
 - FIRE HYDRANT
 - GAS METER
 - GAS VALVE
 - GATE CONTROL BOX
 - IRRIGATION VALVE
 - LIGHT STUBS/W/ PFD CROSSING LIGHT
 - MAIL BOX
 - PALM TREE
 - PARK METER
 - SEWER MANHOLE
 - POWER POLE
 - POWER POLE ANCHOR
 - PULL BOX
 - SEWER MANHOLE
 - SON POST
 - STORM DRAIN MANHOLE
 - STREET LIGHT
 - STREET LIGHT BOX
 - TRAFFIC LIGHT CONTROL BOX
 - TREE
 - WATER HEATER
 - WATER METER
 - WATER VALVE

- PROPERTY LINE
- CENTERLINE
- RETAINING WALL
- BUILDING LINE
- FENCE LINE
- BLOCK WALL

LEGAL DESCRIPTION:
 THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, AND IS DESCRIBED AS FOLLOWS:
 LOTS 7 THROUGH 11 AND PORTIONS OF LOT 6 OF BLOCK D OF WEST KNOLL TRACT AS PER MAP RECORDED IN BOOK 50 PAGES 61-68 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
 APN: 4338-025-001 & 002 & 003 & 004

BENCH MARK
 ASSUMED BENCH MARK ELEVATION 862.7' ON PFM STAMPED 13-10763, 2003
 4 FT NORTH OF NORTH CURB SANTA MONICA BLVD, 5 FT EAST OF 809 EAST OF WEST KNOLL DR. NORTHWEST CURB CATCH BASIN (TO CHANGE TO NAVD 1989 DATUM AN ADDITIONAL 146.41 FT NEEDS TO BE ADDED TO ALL ELEVATIONS)

LAND AREA:
 POR OF LOT 6 APN:4338-025-009 CONTAINING AN AREA OF 5,963.28 SQ. FT., OR 0.136 ACRES, MORE OR LESS.
 POR OF LOT 6 APN:4338-025-010 CONTAINING AN AREA OF 5,528.42 SQ. FT., OR 0.127 ACRES, MORE OR LESS.
 POR OF LOT 6 APN:4338-025-011 CONTAINING AN AREA OF 4,347.39 SQ. FT., OR 0.099 ACRES, MORE OR LESS.
 POR OF LOT 6 APN:4338-025-012 CONTAINING AN AREA OF 3,104.38 SQ. FT., OR 0.071 ACRES, MORE OR LESS.
 LOTS 7 THROUGH 11 APN:4338-025-025, 013 CONTAINING AN AREA OF 42,944.18 SQ. FT., OR 0.989 ACRES, MORE OR LESS.
 TOTAL AREA: 61,097.39 SQ. FT., OR 1.403 ACRES, MORE OR LESS.



VICINITY MAP
 NOT TO SCALE

A1.00

M&G CIVIL ENGINEERING AND
 LAND SURVEYING

TITLE: TOPOGRAPHIC SURVEY 8532-8552 W. WEST KNOLL DRIVE, WEST HOLLYWOOD, CA 90069 8531-8555 SANTA MONICA BLVD., WEST HOLLYWOOD, CA 90069	
CLIENT: BEN SOROURI	JOB NO.: 19-14750
SCALE: 1" = 25'	DATE: 04/10/19
DESIGNED BY: F.G./C.W./S.A.	REVISION (S):
DRAWN BY: C.W.	
CHECKED BY: C.D.L.	





NOT FOR CONSTRUCTION

JOB TITLE
SANTA MONICA & WEST KNOLL
MIXED USE BUILDING

JOB ADDRESS
8555 SANTA MONICA BLVD
WEST HOLLYWOOD, CA 90069

SHEET TITLE
EXISTING BUILDING ELEVATION

ISSUED FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE

SHEET **A1.00A**

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MASSING MODEL, VIEW FROM NORTH WEST



MASSING MODEL, VIEW FROM NORTH



MASSING MODEL, VIEW FROM SOUTH WEST



MASSING MODEL, VIEW FROM SOUTH EAST

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
MASSING MODEL

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE

SHEET **A1.07**

Notes: drawings are for informational purposes only. No liability is assumed for any errors or omissions. Drawings shall not be used, modified, or copied, in whole or in part, without the express written consent of the architect. All drawings and conditions are subject to their respective contract documents. This sheet must be submitted to the office for approval before proceeding with fabrication.



IMAGE IS TAKEN IN 2014

TOTAL LOT AREA: 61,097 SF



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
AERIAL VIEW

ISSUE FOR
PLANNING

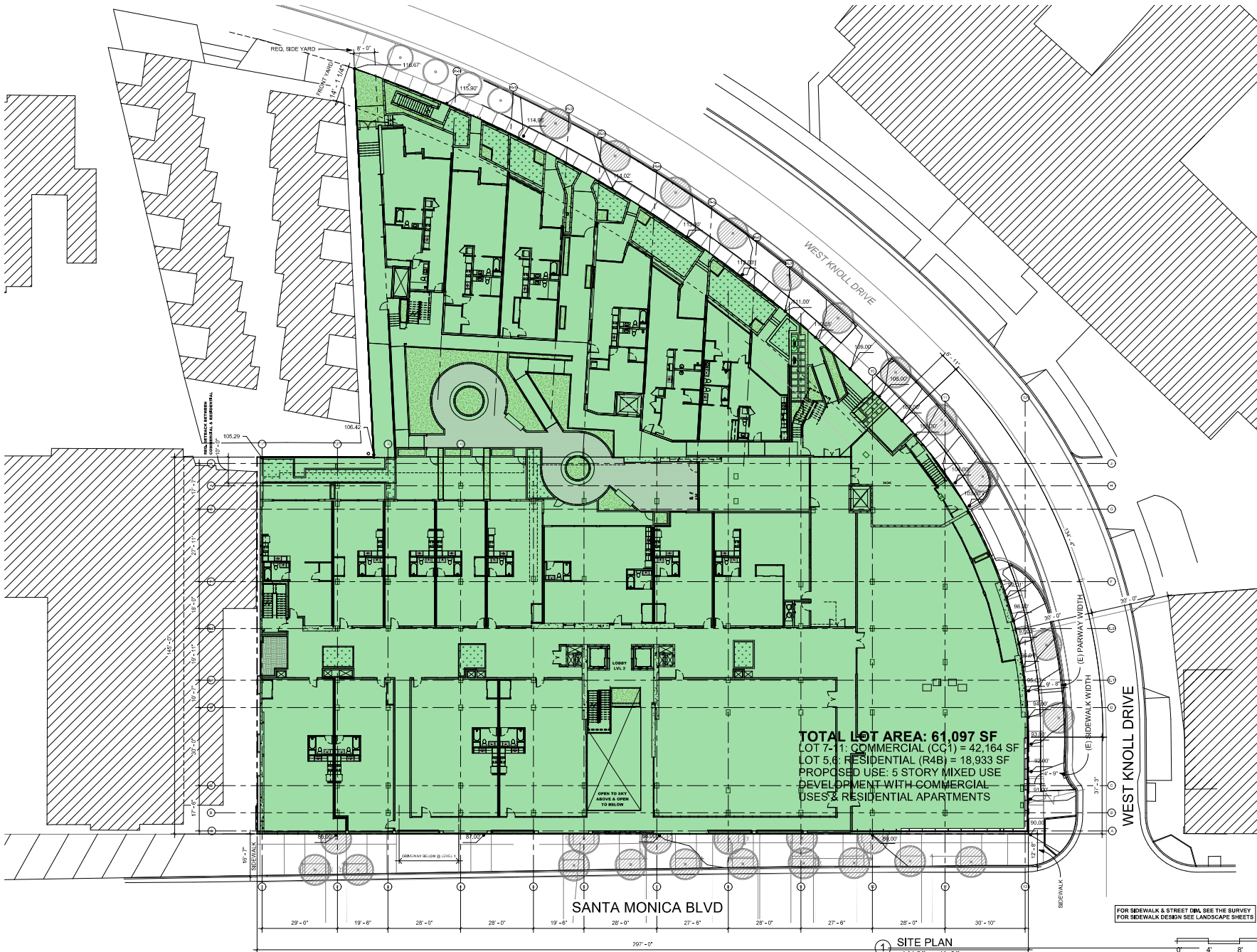
JOB NO.
01020

DATE
March 15 2021

SCALE

SHEET **A1.09**

Words shown on this drawing are not intended to be construed as a contract. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their activity. This sheet must be submitted to the office for approval before proceeding with fabrication.



TOTAL LOT AREA: 61,097 SF
 LOT 7-11: COMMERCIAL (CC1) = 42,164 SF
 LOT 5,6: RESIDENTIAL (R4B) = 18,933 SF
PROPOSED USE: 5 STORY MIXED USE DEVELOPMENT WITH COMMERCIAL USES & RESIDENTIAL APARTMENTS

1 SITE PLAN
 1/16" = 1'-0"

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA MIXED USE DEVELOPMENT

JOB ADDRESS
 WEST HOLLYWOOD, CA 90069

SHEET TITLE
 SITE PLAN

ISSUE FOR
 PLANNING

JOB NO.
 01020

DATE
 March 15 2021

SCALE
 1/16" = 1'-0"

SHEET A1.10

Notes shown on this drawing shall govern over all other drawings. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their starting. This sheet must be submitted to the office for approval before proceeding with fabrication.



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
NORTHEAST VIEW

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE

ARTISTIC ILLUSTRATION
VIEW FROM NORTH

SHEET **A1.14**
Works illustrated shall show the general appearance and not be
considered drawings made for the work. Contractors shall verify, and be
responsible for, all dimensions and conditions prior to their activity. This sheet
must be submitted to the office for approval before proceeding with fabrication.



ARTISTIC ILLUSTRATION

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
VIEW FROM SOUTH

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE

SHEET **A1.15**

Works shown are preliminary and subject to change without notice. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their activity. This sheet must be submitted to the office for approval before proceeding with fabrication.



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
PLAZA VIEW

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE

SHEET **A1.16**

Works shown are preliminary and subject to change without notice. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their purchase. This sheet must be submitted to the office for approval before proceeding with fabrication.

ARTISTIC ILLUSTRATION



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
EAST FACADE VIEW

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE

ARTISTIC ILLUSTRATION
VIEW FROM EAST

SHEET **A1.17**

Works illustrated on this sheet are the property of the architect. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their activity. This sheet must be submitted to the office for approval before proceeding with fabrication.



ARTISTIC ILLUSTRATION

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
WEST FACADE VIEW

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE

SHEET **A1.18**

Works shown are preliminary and subject to change without notice. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their activity. This sheet must be submitted to the office for approval before proceeding with fabrication.



ARTISTIC ILLUSTRATION

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
VIEW FROM NORTH

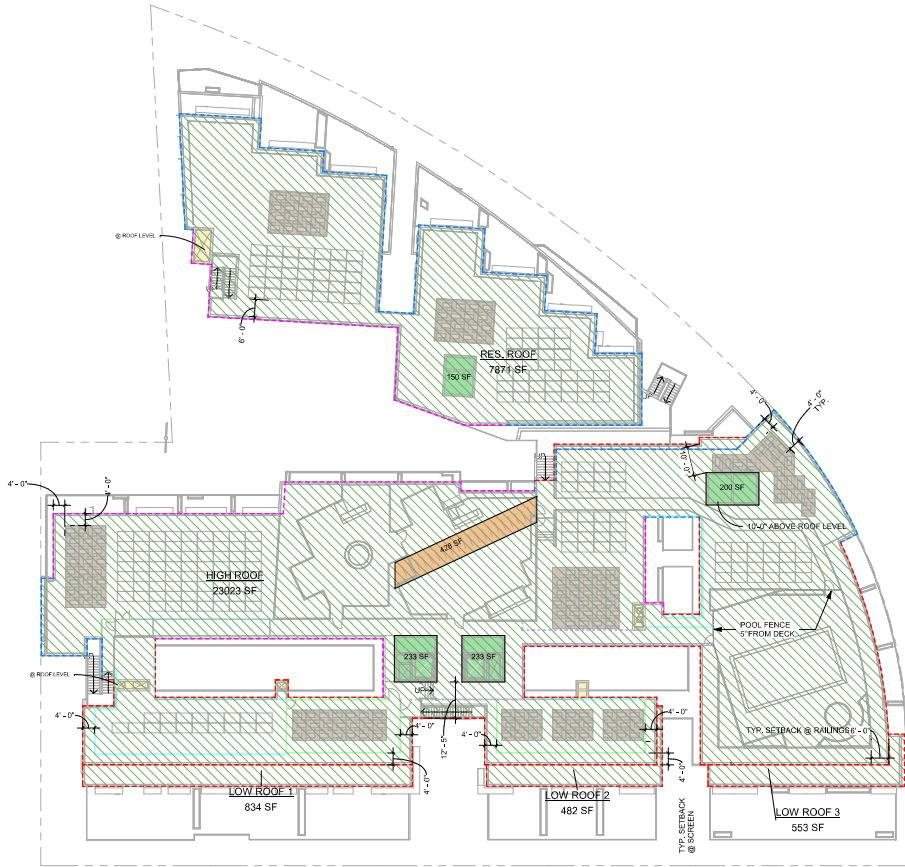
ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021 R

SCALE

SHEET **A1.19**
Works illustrated on this sheet are preliminary and subject to change. Drawings shall not be used for construction until they are approved by the City of West Hollywood. The City of West Hollywood is not responsible for any errors or omissions. This sheet shall be submitted to the City for approval before proceeding with fabrication.



② Roof Diagram
1" = 20'-0"

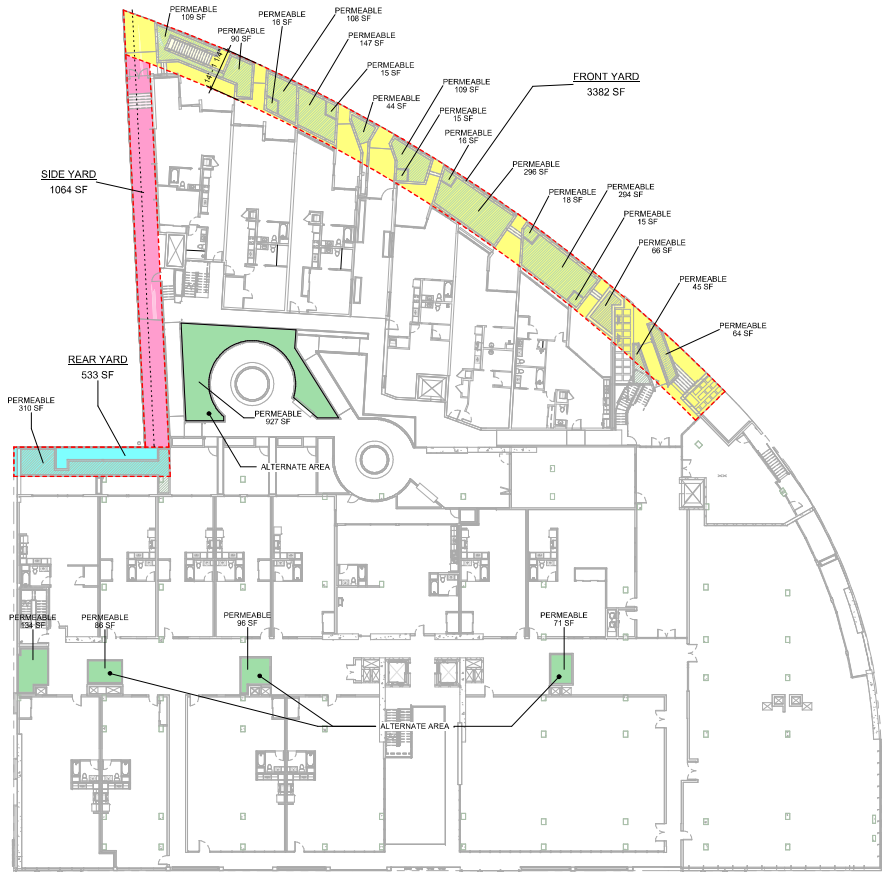
****PER WHMC 19.20.081.C.4.C. Projections Above Allowed Heights, Mechanical equipment, Mechanical equipment, housings, telecommunications facilities and other apartment building structures or penetrations (e.g., shafts, stairwells, and ventilation air) may be allowed, but shall not exceed 15 percent of the total roof area and shall not exceed ten feet in height above the roof above which they are situated. A rooftop structure, equipment, or penetration shall be set back from the edge of the structure a minimum of one foot for every foot in height above the roof above which they are situated.

ROOF AREA	
HIGH ROOF	23,023 SF
LOW ROOF 1	834 SF
LOW ROOF 2	482 SF
LOW ROOF 3	553 SF
RES. ROOF	7,871 SF
GROSS ROOF AREA	32,763 SF

ROOF PROJECTIONS	
ELEVATOR PENTHOUSES	816 SF
MECHANICAL PLATFORMS	2,588 SF
SHAFTS	170 SF
TRELLIS	428 SF
TOTAL ROOF PROJECTIONS	4,000 SF

TOTAL ROOF PROJECTIONS < 15% GROSS ROOF AREA (4,910 SF)
4,000 SF < 4,914 SF

ROOF PROJECTIONS	HEIGHT ABV. ROOF (U.O.N)
ELEVATOR PENTHOUSES	12'-0"
MECHANICAL UNITS	4'-0"
SHAFTS	4'-0"
TRELLIS	10'-0"
PARAPET WALLS	4'-0"
FROSTED GLASS PARAPET	4'-0"
CLEAR GLASS PARAPET	4'-0"
MECH. SCREENS	4'-0"
FALL PROTECTION RAILING	3'-6"
ROOF EDGE	



*AREAS INDICATED AS PERMEABLE TO HAVE MIN. 3" DEEP DIRT

① YARDS PERMEABILITY
1" = 20'-0"

PERMEABLE AREAS		
FRONT YARD	3,382 SF	1,467 SF
REAR YARD	533 SF	290 SF
SIDE YARD	1,064 SF	-
ALTERNATE AREA	-	1,314 SF
TOTAL AREA	4,979 SF	3,071 SF
	x	= 60%
	2,490 SF	< 3,071 SF

Non-Permeable Surfaces. No more than 50 percent of required ground-level common open space areas, and of all required setbacks and yards, shall have non-permeable surfaces. Porous paving and landscaping shall be considered permeable surfaces. Where additional parking spaces extend to property lines, an alternate area of size equal to at least 50 percent of the required yard shall have a permeable surface.



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
DIAGRAMS

ISSUE FOR
PLANNING

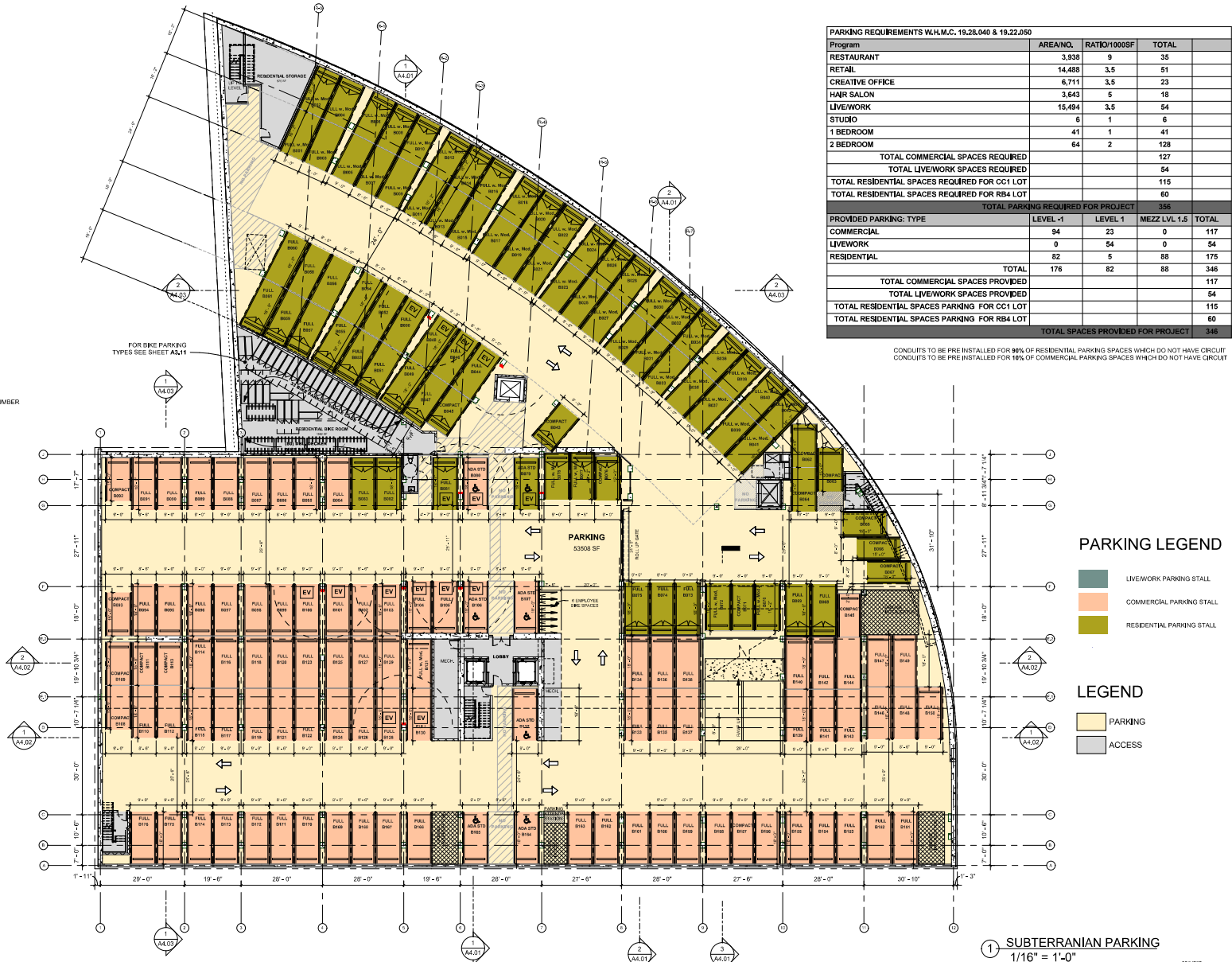
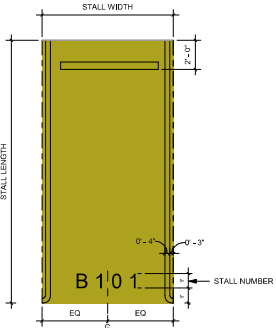
JOB NO.
01020

DATE
March 15 2021

SCALE As indicated

SHEET **A1.30**
Notes attached to this drawing shall be read in conjunction with the project's general conditions, drawings, and specifications. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their starting. This sheet must be submitted to the office for approval before proceeding with fabrication.

TYP. PARKING STALL



PARKING REQUIREMENTS W.H.M.C. 19.28.040 & 19.22.050				
Program	AREA NO.	RATIO/1000SF	TOTAL	
RESTAURANT	3,938	9	35	
RETAIL	14,488	3.5	51	
CREATIVE OFFICE	6,711	3.5	23	
HAIR SALON	3,643	5	18	
LIVEWORK	15,494	3.5	54	
STUDIO	6	1	6	
1 BEDROOM	41	1	41	
2 BEDROOM	64	2	128	
TOTAL COMMERCIAL SPACES REQUIRED			127	
TOTAL LIVEWORK SPACES REQUIRED			54	
TOTAL RESIDENTIAL SPACES REQUIRED FOR CC1 LOT			115	
TOTAL RESIDENTIAL SPACES REQUIRED FOR RB4 LOT			60	
TOTAL PARKING REQUIRED FOR PROJECT			356	
PROVIDED PARKING TYPE	LEVEL -1	LEVEL 1	MEZZ LVL 1.5	TOTAL
COMMERCIAL	94	23	0	117
LIVEWORK	0	54	0	54
RESIDENTIAL	82	5	88	175
TOTAL			88	346
TOTAL COMMERCIAL SPACES PROVIDED			117	
TOTAL LIVEWORK SPACES PROVIDED			54	
TOTAL RESIDENTIAL SPACES PARKING FOR CC1 LOT			115	
TOTAL RESIDENTIAL SPACES PARKING FOR RB4 LOT			60	
TOTAL SPACES PROVIDED FOR PROJECT			346	

CONDUITS TO BE PRE INSTALLED FOR 90% OF RESIDENTIAL PARKING SPACES WHICH DO NOT HAVE CIRCUIT
CONDUITS TO BE PRE INSTALLED FOR 10% OF COMMERCIAL PARKING SPACES WHICH DO NOT HAVE CIRCUIT

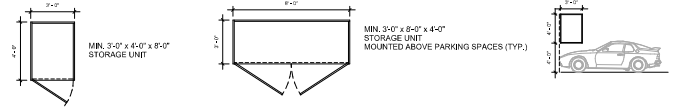
PARKING LEGEND

- LIVEWORK PARKING STALL
- COMMERCIAL PARKING STALL
- RESIDENTIAL PARKING STALL

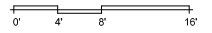
LEGEND

- PARKING
- ACCESS

STORAGE UNIT LEGEND



1 SUBTERRANIAN PARKING
1/16" = 1'-0"



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

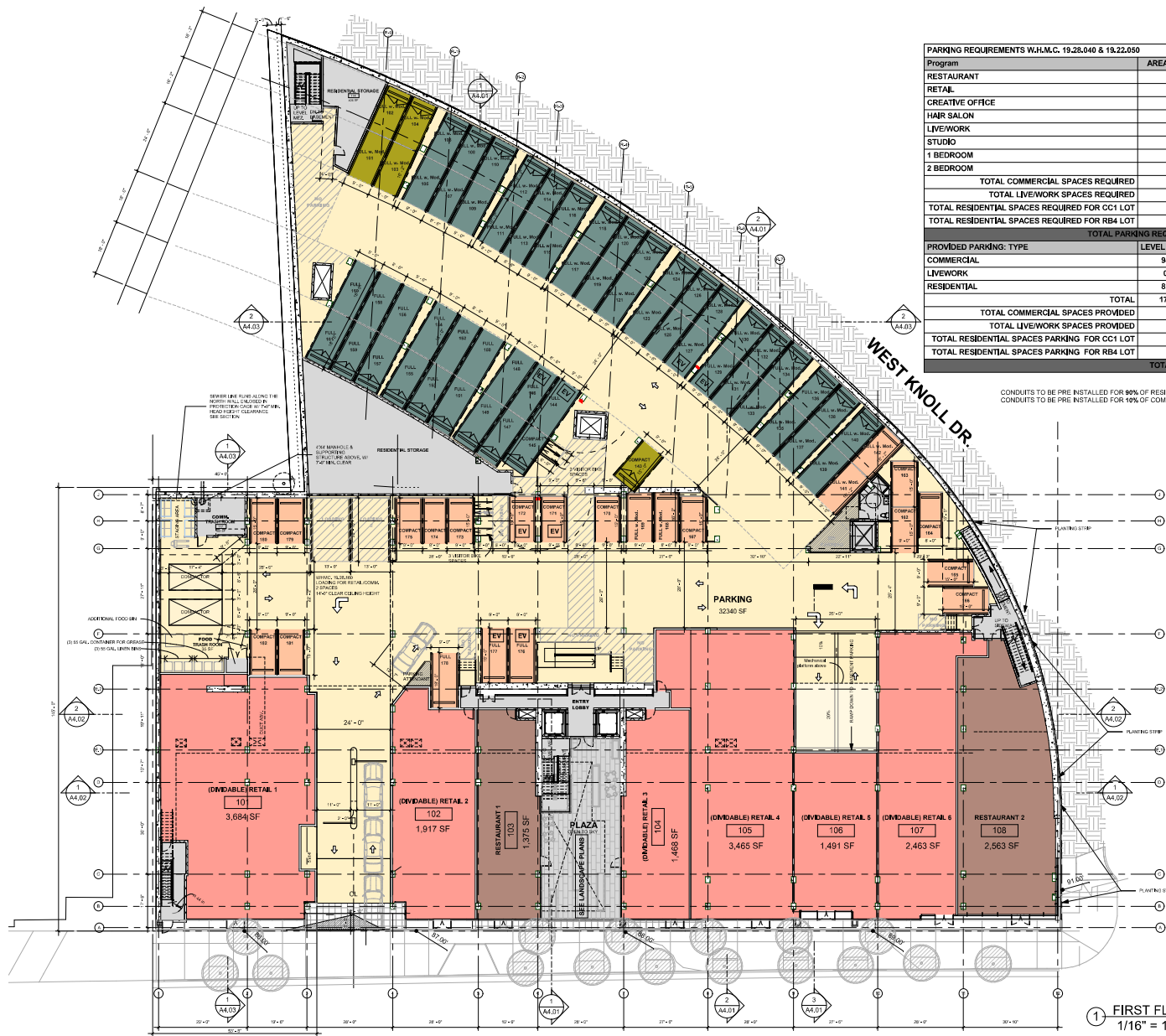
SHEET TITLE
SUBTERRANIAN
PARKING
ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE
As indicated

SHEET **A2.00**



PARKING REQUIREMENTS W.H.M.C. 19.28.040 & 19.22.050				
Program	AREA/NO.	RATIO/1000SF	TOTAL	
RESTAURANT	3,938	9	35	
RETAIL	14,488	3.5	51	
CREATIVE OFFICE	6,711	3.5	23	
HAIR SALON	3,643	5	18	
LIVE/WORK	15,494	3.5	54	
STUDIO	6	1	6	
1 BEDROOM	41	1	41	
2 BEDROOM	64	2	128	
TOTAL COMMERCIAL SPACES REQUIRED			127	
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TOTAL PARKING REQUIRED FOR PROJECT			356	
PROVIDED PARKING: TYPE	LEVEL -1	LEVEL 1	MEZZ LVL 1.5	TOTAL
COMMERCIAL	94	23	0	117
LIVE/WORK	0	54	0	54
RESIDENTIAL	82	5	88	175
TOTAL			88	346
TOTAL COMMERCIAL SPACES PROVIDED			117	
TOTAL LIVE/WORK SPACES PROVIDED			54	
TOTAL RESIDENTIAL SPACES PARKING FOR CC1 LOT			115	
TOTAL RESIDENTIAL SPACES PARKING FOR RB4 LOT			60	
TOTAL SPACES PROVIDED FOR PROJECT			346	

CONDUITS TO BE PRE INSTALLED FOR 80% OF RESIDENTIAL PARKING SPACES WHICH DO NOT HAVE CIRCUIT
 CONDUITS TO BE PRE INSTALLED FOR 10% OF COMMERCIAL PARKING SPACES WHICH DO NOT HAVE CIRCUIT

PARKING LEGEND

- LIVE/WORK PARKING STALL
- COMMERCIAL PARKING STALL
- RESIDENTIAL PARKING STALL

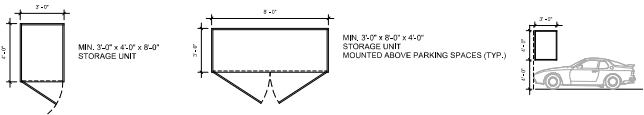
LEGEND

- PARKING
- ACCESS
- RETAIL
- RESTAURANT

NOT FOR CONSTRUCTION

① FIRST FLOOR PLAN
 1/16" = 1'-0"

STORAGE UNIT LEGEND



SANTA MONICA BLVD

FLOOR (01) Area CC1 Lot		GROSS SF
AREA NOT INCLUDED IN FAR	PARKING LEVEL 1 (NOT INCLUDED IN FAR)	32,337
FLOOR AREA INCLUDED IN FAR	RESTAURANT	3,938
	RETAIL	14,488
	SHOWER/LOCKER	115
	COMMERCIAL WASTE / RECYCLING	227
	COMMERCIAL CIRCULATION (INCLUDES STAIRS, ELEVATORS, CORR.)	1,016
TOTAL INCLUDED IN FAR CALC. (CC1 LOT)		19,784

JOB TITLE
 8555 SANTA MONICA
 MIXED USE DEVELOPMENT

JOB ADDRESS
 WEST HOLLYWOOD, CA 90069

SHEET TITLE
 FIRST FLOOR PLAN

ISSUE FOR
 PLANNING

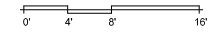
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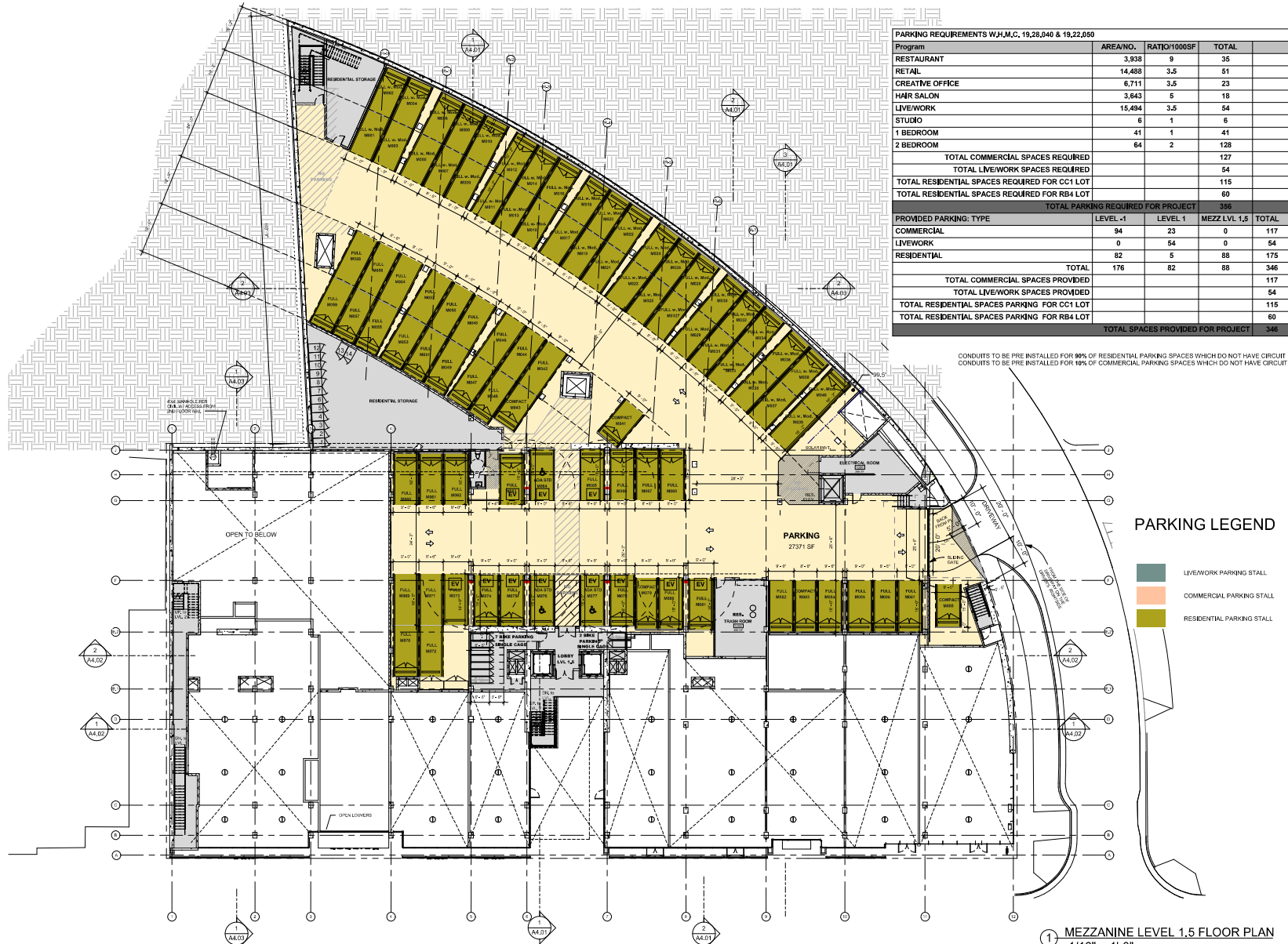
DATE
 March 15 2021

SCALE As indicated

SHEET **A2.01**

Notes: drawings shall not be used for construction without the approval of the architect. Contractors shall verify and be responsible for all dimensions and conditions shown on these drawings. Drawings shall be submitted to the office for approval before proceeding with fabrication.





PARKING REQUIREMENTS W.H.M.C. 19.28.040 & 19.22.050						
Program	AREA/NO.	RATIO/1000SF	TOTAL			
RESTAURANT	3,938	9	35			
RETAIL	14,488	3.5	51			
CREATIVE OFFICE	6,711	3.5	23			
HAIR SALON	3,643	5	18			
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TOTAL RESIDENTIAL SPACES REQUIRED FOR RB4 LOT			60			
TOTAL PARKING REQUIRED FOR PROJECT			356			
PROVIDED PARKING: TYPE	LEVEL -1	LEVEL 1	MEZZ LEVEL 1.5	TOTAL		
COMMERCIAL	94	23	0	117		
LIVE/WORK	0	54	0	54		
RESIDENTIAL	82	5	88	175		
TOTAL			176	82	88	346
TOTAL COMMERCIAL SPACES PROVIDED			117			
TOTAL LIVE/WORK SPACES PROVIDED			54			
TOTAL RESIDENTIAL SPACES PARKING FOR CC1 LOT			115			
TOTAL RESIDENTIAL SPACES PARKING FOR RB4 LOT			60			
TOTAL SPACES PROVIDED FOR PROJECT			346			

CONDUITS TO BE PRE INSTALLED FOR 90% OF RESIDENTIAL PARKING SPACES WHICH DO NOT HAVE CIRCUIT
 CONDUITS TO BE PRE INSTALLED FOR 10% OF COMMERCIAL PARKING SPACES WHICH DO NOT HAVE CIRCUIT

PARKING LEGEND

- LIVE/WORK PARKING STALL
- COMMERCIAL PARKING STALL
- RESIDENTIAL PARKING STALL

NOT FOR CONSTRUCTION

JOB TITLE
 8555 SANTA MONICA
 MIXED USE DEVELOPMENT

JOB ADDRESS
 WEST HOLLYWOOD, CA 90069

SHEET TITLE
 MEZZANINE LEVEL 1.5
 FLOOR PLAN
 ISSUE FOR
 PLANNING

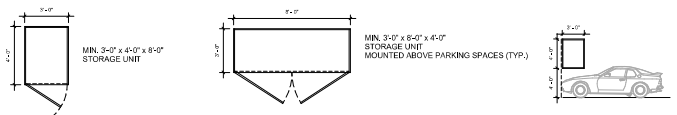
JOB NO.
 01020

DATE
 March 15 2021

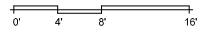
SCALE As indicated

1 MEZZANINE LEVEL 1.5 FLOOR PLAN
 1/16" = 1'-0"

STORAGE UNIT LEGEND

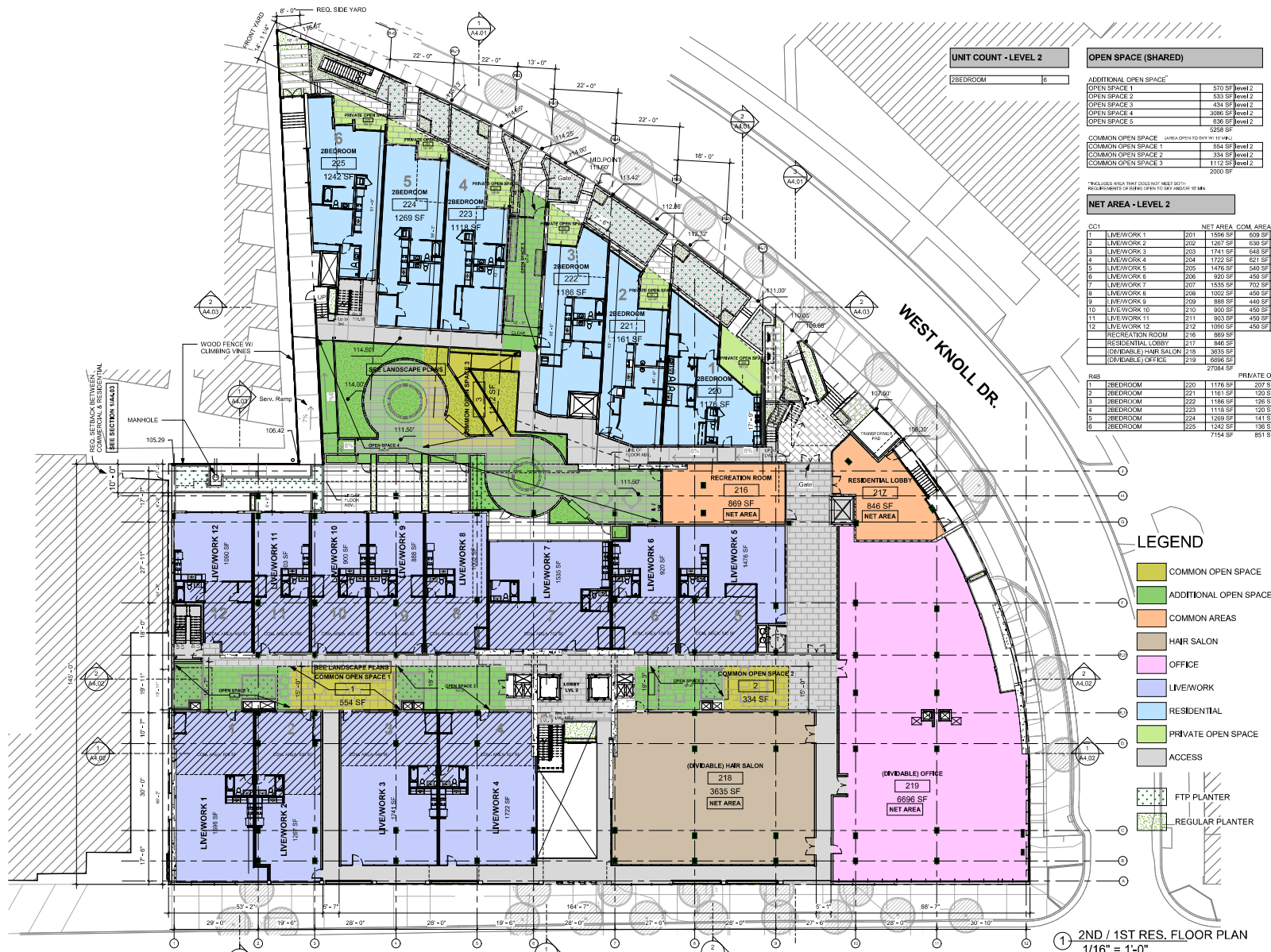


FLOOR: MEZZ. FLOOR (1.5) Area CC1 Lot		GROSS SF
AREA NOT INCLUDED IN FAR	PARKING LEVEL 1.5 (NOT INCLUDED IN FAR)	27,373
FLOOR AREA INCLUDED IN FAR	RESIDENTIAL ELECTRICAL	317
	RESIDENTIAL TRASH/RECYCLING AREA	480
	COMMERCIAL ELECTRICAL	100
TOTAL INCLUDED IN FAR CALC. (CC1 LOT)		897



SHEET **A2.01-5**

Works shown on this drawing are the responsibility of the architect. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their starting. They shall not be substituted in the office for approval before proceeding with fabrication.



UNIT COUNT - LEVEL 2	
2BEDROOM	6

OPEN SPACE (SHARED)	
ADDITIONAL OPEN SPACE*	
OPEN SPACE 1	570 SF level 2
OPEN SPACE 2	533 SF level 2
OPEN SPACE 3	434 SF level 2
OPEN SPACE 4	3086 SF level 2
OPEN SPACE 5	636 SF level 2
COMMON OPEN SPACE (AREA OPT TO DEV W/ 10' INCL.)	
COMMON OPEN SPACE 1	254 SF level 2
COMMON OPEN SPACE 2	334 SF level 2
COMMON OPEN SPACE 3	1112 SF level 2
	2000 SF

NET AREA - LEVEL 2	
CC1	NET AREA, COM. AREA, %
1 LIVE/WORK 1	2011 1596 SF 699 SF 38%
2 LIVE/WORK 2	2032 1287 SF 638 SF 31%
3 LIVE/WORK 3	203 1741 SF 648 SF 32%
4 LIVE/WORK 4	204 1722 SF 621 SF 30%
5 LIVE/WORK 5	208 1476 SF 540 SF 37%
6 LIVE/WORK 6	206 820 SF 450 SF 49%
7 LIVE/WORK 7	207 1533 SF 702 SF 46%
8 LIVE/WORK 8	208 1002 SF 450 SF 45%
9 LIVE/WORK 9	209 888 SF 440 SF 50%
10 LIVE/WORK 10	210 900 SF 450 SF 50%
11 LIVE/WORK 11	211 903 SF 450 SF 50%
12 LIVE/WORK 12	212 1090 SF 450 SF 41%
RECREATION ROOM	216 869 SF
RESIDENTIAL LOBBY	217 846 SF
(DIVISIBLE) HAIR SALON	218 3635 SF
(DIVISIBLE) OFFICE	219 6696 SF
	27984 SF

NET AREA - LEVEL 2	
R4B	PRIMATE Q.S
1 2BEDROOM	220 1176 SF
2 2BEDROOM	221 1161 SF
3 2BEDROOM	222 1186 SF
4 2BEDROOM	223 1118 SF
5 2BEDROOM	224 1269 SF
6 2BEDROOM	225 1242 SF
	7154 SF 831 SF

- LEGEND**
- COMMON OPEN SPACE
 - ADDITIONAL OPEN SPACE
 - COMMON AREAS
 - HAIR SALON
 - OFFICE
 - LIVE/WORK
 - RESIDENTIAL
 - PRIVATE OPEN SPACE
 - ACCESS
 - FTP PLANTER
 - REGULAR PLANTER

① 2ND / 1ST RES. FLOOR PLAN
1/16" = 1'-0"

EVERY UNIT SHALL HAVE A CEILING FAN OPERABLE TRANSOM ABOVE ENTRY @ UNITS W/ MORE THAN 5' DEPTH DOORS TYP.

WRITTEN AREAS ON PLANS ARE "NET" SQUARE FOOTAGE, ONLY AREAS IN FAR TABLE ARE FOR FAR CALCULATIONS & ARE DIFFERENT FROM THE NET SQUARE FOOTAGE

ALL LIVE/WORK UNITS SHALL COMPLY WITH CBC 2016 SEC. 419

POOL SHALL COMPLY WITH ALL REQUIREMENTS FROM LA COUNTY HEALTH DEPARTMENT

FLOOR (02) Area CC1 Lot / FLOOR (01) Area R4B Lot		GROSS SF
FLOOR AREA INCLUDED IN FAR	CREATIVE OFFICE	6,711
	LIVE/WORK	15,494
	HAIR SALON	3,643
	RESIDENTIAL RECREATION ROOM	892
	RES./COMM. CIRC. (SHARED INCLUDES STAIRS, ELEVATORS)	328
	RESIDENTIAL LOBBY	633
	RESIDENTIAL CIRCULATION (INCLUDES ELEVATORS, TRASH)	155
	TOTAL INCLUDED IN FAR CALC. (CC1 LOT)	29,658
	RESIDENTIAL NOT INCLUDED IN FAR CALC. (R4B LOT)	7,257

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90068

SHEET TITLE
2ND LEVEL PLAN

ISSUE FOR
PLANNING

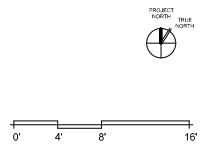
JOB NO.
01020

DATE
March 15 2021

SCALE
As indicated

SHEET **A2.02**

Work shown on this drawing is the property of the architect. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their starting. Work shown must be submitted to the office for approval before proceeding with fabrication.





UNIT COUNT - LEVEL 3		NET AREA - LEVEL 3	
1BEDROOM	11	0C1	PRIVATE O.S.
2BEDROOM	22	7	1BEDROOM
STUDIO	2	8	2BEDROOM
	35	9	STUDIO
		10	1BEDROOM
		11	2BEDROOM
		12	2BEDROOM
		13	2BEDROOM
		14	2BEDROOM
		15	STUDIO
		16	2BEDROOM
		17	2BEDROOM
		18	2BEDROOM
		19	2BEDROOM
		20	1BEDROOM
		21	1BEDROOM
		22	1BEDROOM
		23	1BEDROOM
		24	1BEDROOM
		25	1BEDROOM
		26	1BEDROOM
		27	1BEDROOM
		28	2BEDROOM
		29	2BEDROOM
		30	2BEDROOM
		31	2BEDROOM
		32	2BEDROOM
		33	2BEDROOM
		34	2BEDROOM
		35	STUDIO
			PRIVATE O.S.
		36	2BEDROOM
		37	2BEDROOM
		38	2BEDROOM
		39	2BEDROOM
		40	2BEDROOM
		41	2BEDROOM
			R4B
		300	277 SF
		301	1168 SF
		302	1224 SF
		303	1130 SF
		304	1293 SF
		305	1242 SF
		306	965 SF
			7335 SF

LEGEND

- RESIDENTIAL
- PRIVATE OPEN SPACE
- ACCESS
- FTP PLANTER
- REGULAR PLANTER

① 3RD / 2ND RES. FLOOR PLAN
1/16" = 1'-0"

EVERY UNIT SHALL HAVE A CEILING FAN OPERABLE TRANSOM ABOVE ENTRY @ UNITS W/ MORE THAN 5' DEPTH DOORS TYP.

WRITTEN AREAS ON PLANS ARE "NET" SQUARE FOOTAGE, ONLY AREAS IN FAR TABLE ARE FOR FAR CALCULATIONS & ARE DIFFERENT FROM THE NET SQUARE FOOTAGE

FLOOR (03) Area CC1 Lot / FLOOR (02) Area R4B Lot	GROSS SF
FLOOR AREA INCLUDED IN FAR	25,387
RESIDENTIAL UNITS (12 ONE BEDROOM & 21 TWO BEDROOM UNITS)	
RESIDENTIAL CIRCULATION (INCLUDES STAIRS, ELEV., TRASH)	422
TOTAL INCLUDED IN FAR CALC. (CC1 LOT)	25,809
RESIDENTIAL NOT INCLUDED IN FAR CALC. (R4B LOT)	7,448

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
3RD LEVEL PLAN

ISSUE FOR
PLANNING

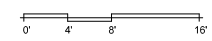
JOB NO.
01020

DATE
March 15 2021

SCALE
As indicated

SHEET **A2.03**

Notes: Drawing shall not be used for construction without the approval of the architect. Contractors shall verify and be responsible for all dimensions and conditions shown on their drawings. Drawings shall not be submitted to the city for approval without processing with the contractor.





UNIT COUNT - LEVEL 4		NET AREA - LEVEL 4	
1BEDROOM	16	CC1	2BEDROOM 401 818 SF 210 SF
2BEDROOM	19	CC2	2BEDROOM 402 778 SF 148 SF
	34	CC3	1BEDROOM 403 748 SF 184 SF
		CC4	1BEDROOM 404 778 SF 143 SF
		CC5	1BEDROOM 405 778 SF 143 SF
		CC6	2BEDROOM 406 828 SF 185 SF
		CC7	2BEDROOM 407 828 SF 185 SF
		CC8	2BEDROOM 408 824 SF 144 SF
		CC9	2BEDROOM 409 825 SF 164 SF
		CC10	2BEDROOM 410 1097 SF 437 SF
		CC11	2BEDROOM 411 1093 SF 134 SF
		CC12	2BEDROOM 412 1005 SF 127 SF
		CC13	2BEDROOM 413 985 SF 132 SF
		CC14	1BEDROOM 414 698 SF 134 SF
		CC15	1BEDROOM 415 589 SF 138 SF
		CC16	1BEDROOM 416 754 SF 129 SF
		CC17	1BEDROOM 417 620 SF 158 SF
		CC18	1BEDROOM 418 603 SF 134 SF
		CC19	1BEDROOM 419 550 SF 120 SF
		CC20	1BEDROOM 420 618 SF 122 SF
		CC21	1BEDROOM 421 733 SF 170 SF
		CC22	2BEDROOM 422 924 SF 127 SF
		CC23	2BEDROOM 423 924 SF 138 SF
		CC24	2BEDROOM 424 819 SF 138 SF
		CC25	1BEDROOM 425 661 SF 233 SF
		CC26	1BEDROOM 426 661 SF 279 SF
		CC27	1BEDROOM 427 661 SF 279 SF
		CC28	1BEDROOM 428 778 SF 326 SF
		R4B	22549 SF 5011 SF
		PRIVATE O.S.	
		CC1	2BEDROOM 429 1278 SF 178 SF
		CC2	2BEDROOM 430 1160 SF 142 SF
		CC3	2BEDROOM 431 1222 SF 153 SF
		CC4	2BEDROOM 432 1131 SF 147 SF
		CC5	2BEDROOM 433 1293 SF 172 SF
		CC6	2BEDROOM 434 1223 SF 152 SF
			7343 SF 1001 SF

LEGEND

- RESIDENTIAL
- PRIVATE OPEN SPACE
- ACCESS

① 4TH / 3RD RES. FLOOR PLAN
1/16" = 1'-0"

EVERY UNIT SHALL HAVE A CEILING FAN OPERABLE TRANSOM ABOVE ENTRY @ UNITS W MORE THAN 50' DEPTH DOORS TYP.
WRITTEN AREAS ON PLANS ARE "NET" SQUARE FOOTAGE, ONLY AREAS IN FAR TABLE ARE FOR FAR CALCULATIONS & ARE DIFFERENT FROM THE NET SQUARE FOOTAGE

FLOOR (04) Area CC1 Lot / FLOOR (03) Area R4B Lot	RESIDENTIAL UNITS (15 ONE BEDROOM & 17 TWO BEDROOM UNITS)	GROSS SF
FLOOR AREA INCLUDED IN FAR		23,833
RESIDENTIAL CIRCULATION (INCLUDES STAIRS, ELEV., CORR., TRASH)		420
TOTAL INCLUDED IN FAR CALC. (CC1 LOT)		24,053
RESIDENTIAL NOT INCLUDED IN FAR CALC. (R4B LOT)		7,445

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
4TH LEVEL PLAN

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE
As indicated

SHEET **A2.04**

0' 4' 8' 16'



UNIT COUNT - LEVEL 5		NET AREA - LEVEL 5	
1BEDROOM	14	001	PRIVATE O.S.
2BEDROOM	12	076 1BEDROOM	501 968 SF 678 SF
STUDIO	4	077 1BEDROOM	502 922 SF 632 SF
	30	078 1BEDROOM	503 951 SF 695 SF
		079 STUDIO	504 492 SF 351 SF
		080 STUDIO	505 473 SF 332 SF
		081 STUDIO	506 525 SF 368 SF
		082 2BEDROOM	507 1003 SF 721 SF
		083 2BEDROOM	508 1028 SF 740 SF
		084 2BEDROOM	509 987 SF 719 SF
		085 1BEDROOM	510 798 SF 579 SF
		086 STUDIO	511 558 SF 422 SF
		087 1BEDROOM	512 705 SF 517 SF
		088 1BEDROOM	513 632 SF 460 SF
		089 1BEDROOM	514 562 SF 434 SF
		090 1BEDROOM	515 520 SF 400 SF
		091 1BEDROOM	516 613 SF 471 SF
		092 2BEDROOM	517 648 SF 507 SF
		093 1BEDROOM	518 639 SF 497 SF
		094 2BEDROOM	519 828 SF 617 SF
		095 2BEDROOM	520 828 SF 617 SF
		096 1BEDROOM	521 658 SF 513 SF
		097 1BEDROOM	522 658 SF 513 SF
		098 1BEDROOM	523 652 SF 524 SF
		099 1BEDROOM	524 734 SF 586 SF
		R4B	18147 SF 6271 SF
		100 1BEDROOM	525 1278 SF 1002 SF
		101 1BEDROOM	526 1161 SF 930 SF
		102 2BEDROOM	527 1222 SF 134 SF
		103 1BEDROOM	528 1132 SF 131 SF
		104 1BEDROOM	529 1293 SF 184 SF
		105 2BEDROOM	530 1238 SF 172 SF
			7252 SF 511 SF

LEGEND

- RESIDENTIAL
- PRIVATE OPEN SPACE
- ACCESS

① 5TH / 4TH RES. FLOOR PLAN
1/16" = 1'-0"

EVERY UNIT SHALL HAVE A CEILING FAN OPERABLE TRANSOM ABOVE ENTRY @ UNITS W/ MORE THAN 5' DEPTH DOORS TYP.
WRITTEN AREAS ON PLANS ARE "NET" SQUARE FOOTAGE, ONLY AREAS IN FAR TABLE ARE FOR FAR CALCULATIONS & ARE DIFFERENT FROM THE NET SQUARE FOOTAGE

FLOOR (05) Area C01 Lot / FLOOR (04) Area R4B Lot		GROSS SF
FLOOR AREA INCLUDED IN FAR	RESIDENTIAL UNITS (13 ONE BEDROOM & 14 TWO BEDROOM UNITS)	19,046
	RESIDENTIAL CIRCULATION (INCLUDES STAIRS, ELEV., CORR, TRASH)	414
	TOTAL INCLUDED IN FAR CALC. (C01 LOT)	19,460
	RESIDENTIAL NOT INCLUDED IN FAR CALC. (R4B LOT)	7,427

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90068

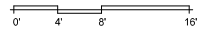
SHEET TITLE
5TH LEVEL PLAN

ISSUE FOR
PLANNING

JOB NO.
01020

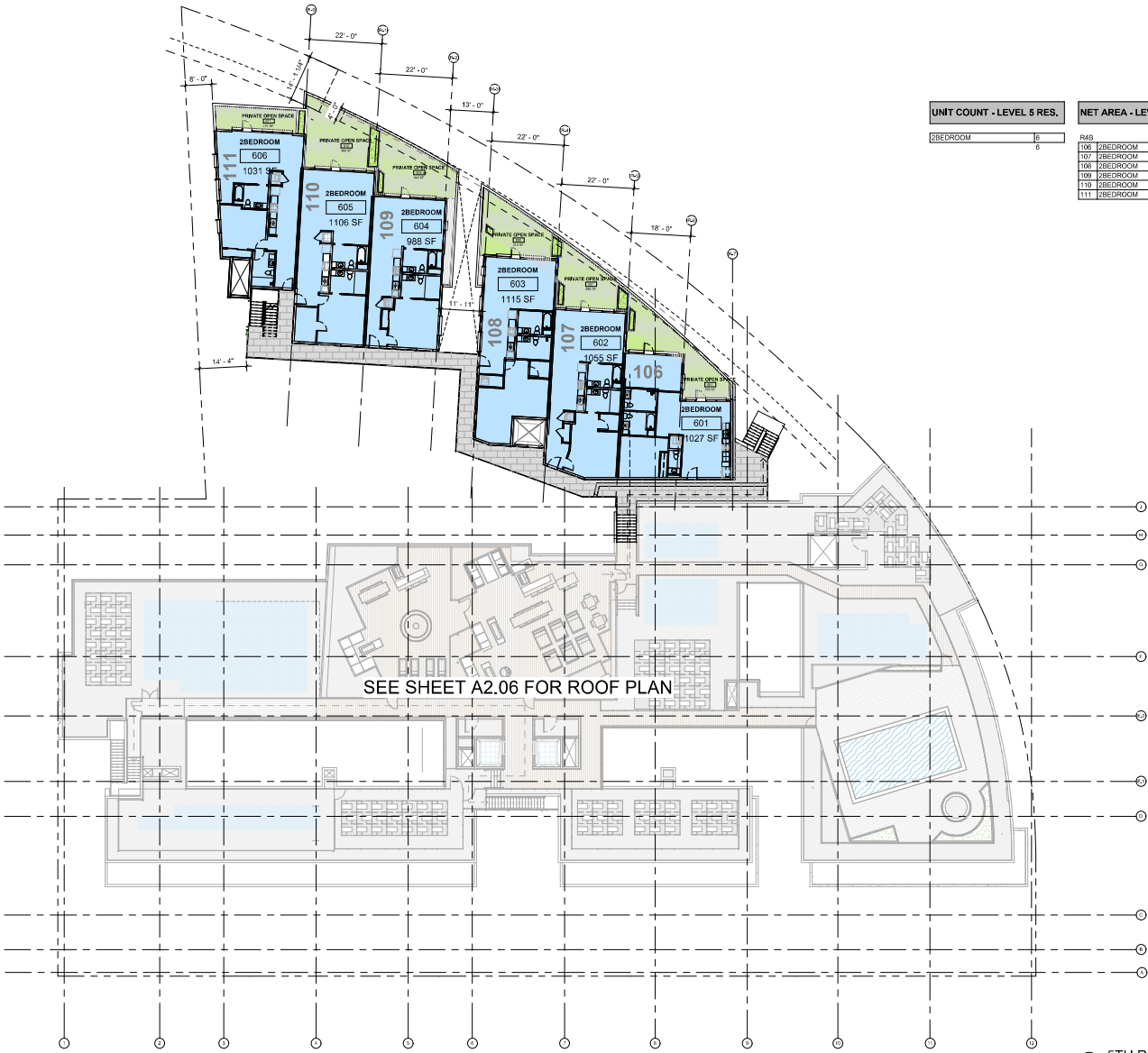
DATE
March 15 2021

SCALE
As indicated



SHEET **A2.05**

Notes: drawings are not to be used for construction without the approval of the architect. Drawings shall not be used for construction until they are approved by the architect. All dimensions and conditions shall be those shown on the drawings. Drawings shall be submitted to the office for approval before proceeding with fabrication.



UNIT COUNT - LEVEL 5 RES.

2BEDROOM	6
----------	---

NET AREA - LEVEL 5 RES.

R4B	PRIVATE O.S.	PRIVATE O.S.
106 2BEDROOM	601	1027 SF
107 2BEDROOM	602	1055 SF
108 2BEDROOM	603	1115 SF
109 2BEDROOM	604	988 SF
110 2BEDROOM	605	1106 SF
111 2BEDROOM	606	1031 SF
		6501 SF

SEE SHEET A2.06 FOR ROOF PLAN

LEGEND

 RESIDENTIAL
 PRIVATE OPEN SPACE
 ACCESS

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

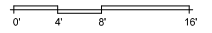
SHEET TITLE
5TH LEVEL PLAN
RESIDENTIAL
ISSUE FOR
PLANNING

① 5TH RES. FLOOR PLAN
1/16" = 1'-0"



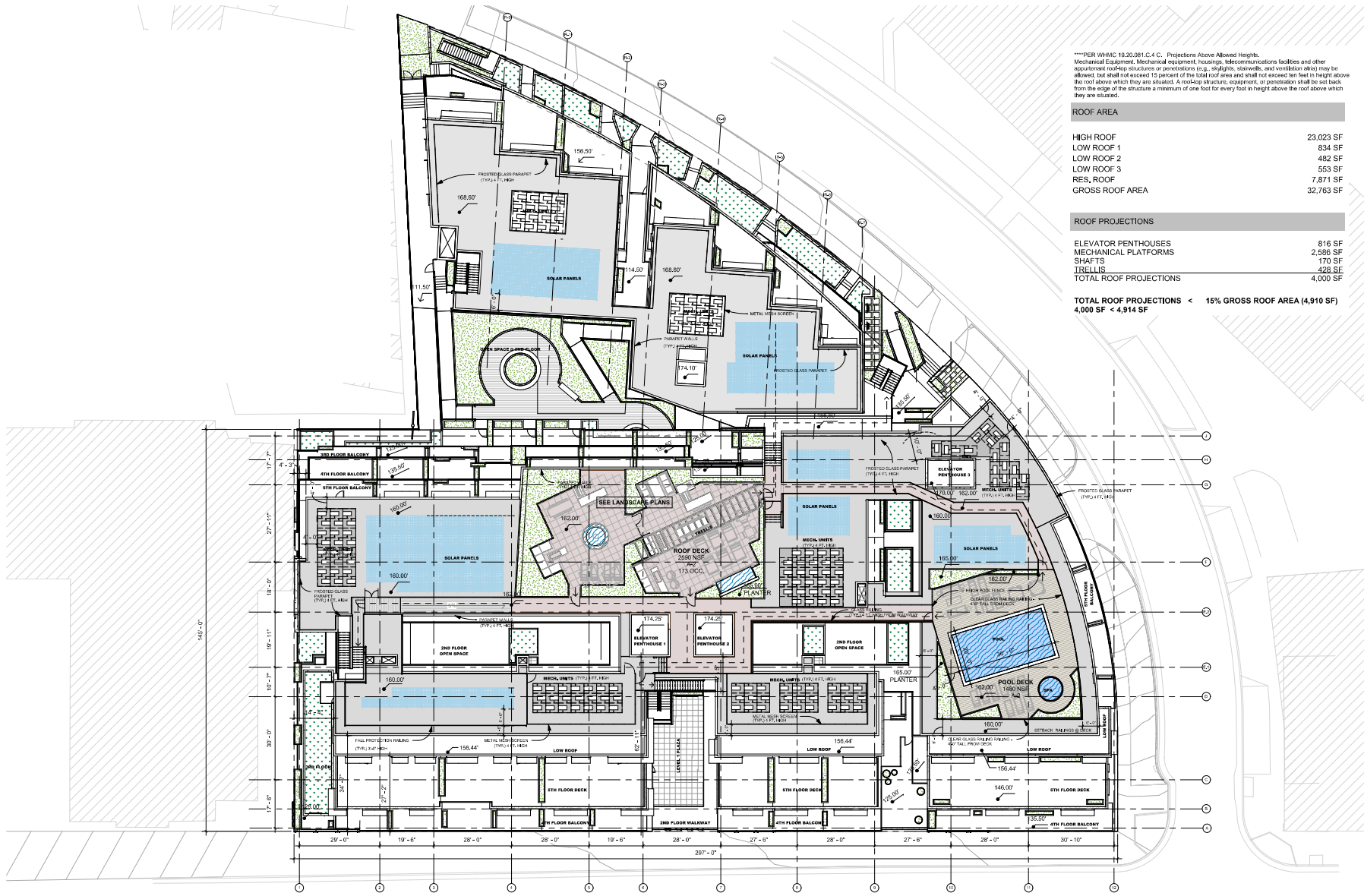
EVERY UNIT SHALL HAVE A CEILING FAN
OPERABLE TRANSOM ABOVE ENTRY @ UNITS W/ MORE THAN 5' DEPTH DOORS TYP.
WRITTEN AREAS ON PLANS ARE "NET" SQUARE FOOTAGE, ONLY AREAS IN FAR TABLE ARE
FOR FAR CALCULATIONS & ARE DIFFERENT FROM THE NET SQUARE FOOTAGE

FLOOR (05) Area R4B Lot	RESIDENTIAL NOT INCLUDED IN FAR CALC. (R4B LOT)	GROSS SF
		6,422



SHEET A2.05-5

Works shown on this drawing are preliminary and subject to change without notice. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their starting. These sheets must be submitted to the office for approval before proceeding with fabrication.



****PER WHMC 18.20.061.C.4.C. Projections Above Allowed Height: Mechanical Equipment, Mechanical equipment housings, telecommunications facilities and other appurtenant out-top structures or penetrations (e.g., shafts, stairwells, and ventilation areas) may be allowed, but shall not exceed 15 percent of the total roof area and shall not exceed ten feet in height above the roof above which they are situated. A roof-top structure, equipment, or penetration shall be set back from the edge of the structure a minimum of one foot for every foot in height above the roof above which they are situated.

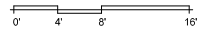
ROOF AREA	
HIGH ROOF	23,023 SF
LOW ROOF 1	934 SF
LOW ROOF 2	482 SF
LOW ROOF 3	553 SF
RES. ROOF	7,871 SF
GROSS ROOF AREA	32,763 SF

ROOF PROJECTIONS	
ELEVATOR PENTHOUSES	816 SF
MECHANICAL PLATFORMS	2,586 SF
SHAFTS	170 SF
TRELLIS	428 SF
TOTAL ROOF PROJECTIONS	4,000 SF

TOTAL ROOF PROJECTIONS < 15% GROSS ROOF AREA (4,910 SF)
4,000 SF < 4,914 SF

• SOLAR PV PANELS TO PROVIDE MIN 10KW
• INSTALL DURABLE ROOF WITH LONG-TERM WARRANTY OR DEMONSTRATED LONG TERM DURABILITY (15 YR WARRANTY FOR BUILT-UP ROOF, METAL)

① ROOF PLAN
1/16" = 1'-0"



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
ROOF PLAN

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE 1/16" = 1'-0"

SHEET **A2.06**
Notes: Drawing shall not be used for construction without the approval of the architect. Contractors shall verify and be responsible for all dimensions and conditions prior to their starting. This sheet must be submitted to the office for approval before proceeding with fabrication.

- MIN. 20% OF TOTAL WINDOW AREA WILL BE OPERABLE WINDOWS TO ENABLE NATURAL CROSS VENTILATION (TYP.)
- INSTALL EXTERIOR SHADING DEVICES ON SOUTH- AND/OR WEST-FACING WINDOWS

MATERIAL KEYNOTE

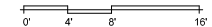
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2. SMOOTH TROWELLED INTEGRAL PLASTER COLOR: WHITE
3. SMOOTH TROWELLED INTEGRAL PLASTER COLOR: GREY
4. TEXTURED CONCRETE
5. STOREFRONT GLAZING SYSTEM/W/ GLASS MULLION
6. PHENOLIC COMPOSITE EXTERIOR WALL PANEL W/ WOOD EFFECT
7. RAILING SLATS
8. STAINLESS STEEL CONNECTION
9. LAMINATED GLASS
10. STOREFRONT GLAZING SYSTEM W/ ALUMN. MULLION
11. CLEAR GLASS
12. METAL SLATS
13. SPANDREL GLASS
14. GLASS RAILING
15. FALL PROTECTION RAILING
16. MESH SCREEN FOR MECHANICAL ENCLOSURES
17. PLANTER
18. ALUMINUM SUNSHADE ABOVE WINDOW
19. TRANSLUCENT GLASS
20. GREEN / LIVING WALL
21. TEXTURED RIBBED CONCRETE
22. BUILDING SIGNAGE
23. TERESPA - STEEL BLUE
24. VINE ON STEEL CABLES



② NORTH ELEVATION
1/16" = 1'-0"



① SOUTH ELEVATION
1/16" = 1'-0"



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
BUILDING
ELEVATIONS
ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE
As indicated

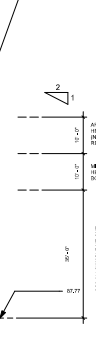
SHEET **A3.01**

Notes: drawings are for informational purposes only. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their starting. Drawings must be submitted to the office for approval before proceeding with fabrication.

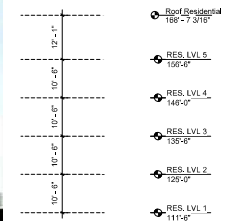
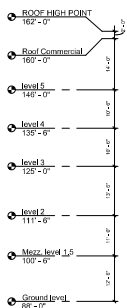
- MIN. 20% OF TOTAL WINDOW AREA WILL BE OPERABLE WINDOWS TO ENABLE NATURAL CROSS VENTILATION (TYP.)
- INSTALL EXTERIOR SHADING DEVICES ON SOUTH- AND/OR WEST-FACING WINDOWS

MATERIAL KEYNOTE

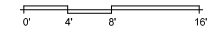
- SMOOTH CONCRETE
- SMOOTH TROWELLED INTEGRAL PLASTER COLOR: WHITE
- SMOOTH TROWELLED INTEGRAL PLASTER COLOR: GREY
- TEXTURED CONCRETE
- STOREFRONT GLAZING SYSTEM/ GLASS MULLION
- PHENOLIC COMPOSITE EXTERIOR WALL PANEL W/ WOOD EFFECT
- RAILING SLATS
- STAINLESS STEEL CONNECTION
- LAMINATED GLASS
- STOREFRONT GLAZING SYSTEM W/ ALUMN. MULLION
- CLEAR GLASS
- METAL SLATS
- SPANDREL GLASS
- GLASS RAILING
- FALL PROTECTION RAILING
- MESH SCREEN FOR MECHANICAL ENCLOSURES
- PLANTER
- ALUMINUM SUNSHADE ABOVE WINDOW
- TRANSLUCENT GLASS
- GREEN / LIVING WALL
- TEXTURED RIBBED CONCRETE
- BUILDING SIGNAGE
- TERESA - STEEL BLUE
- VINE ON STEEL CABLES



② WEST ELEVATION
1/16" = 1'-0"



① EAST ELEVATION
1/16" = 1'-0"



NOT FOR CONSTRUCTION

JOB TITLE
**8555 SANTA MONICA
MIXED USE DEVELOPMENT**

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
**BUILDING
ELEVATIONS**
ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE As indicated

SHEET **A3.02**

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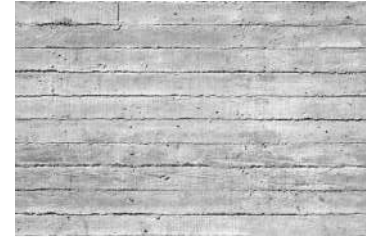
19 TRANSLUCENT GLASS RAILING



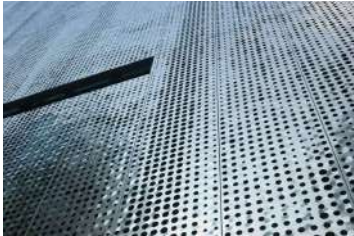
13 SPANDREL GLASS



09 LAMINATED GLASS
08 STAINLESS STEEL CONNECTION



04 TEXTURED CONCRETE



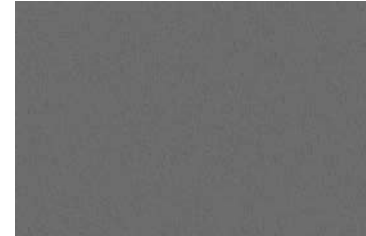
16 MESH FOR ENCLOSURES



12 METAL SLATS



07 RAILING SYSTEM



03 INTEGRAL PLASTER COLOR -GREY



15 FALL PROTECTION RAILING



11 CLEAR GLASS



06 PHENOLIC WALL PANEL
W/ WOOD FINNISH



02 INTEGRAL PLASTER COLOR -WHITE



14 GLASS RAILING



10 STOREFRONT GLAZING SYSTEM
W/ ALUMN. MULLION



05 STOREFRONT GLAZING SYSTEM
W/ GLASS MULLION



01 SMOOTH CONCRETE

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
EXTERIOR
MATERIALS
ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE

SHEET **A3.10**

Works shown are not intended for construction without revision. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their starting. This sheet must be submitted to the office for approval before proceeding with fabrication.



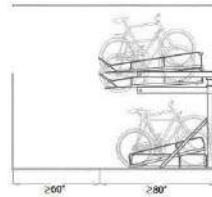
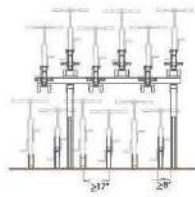
GATE @ SIDEYARD



PARKING GATE



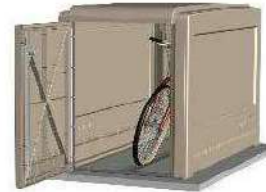
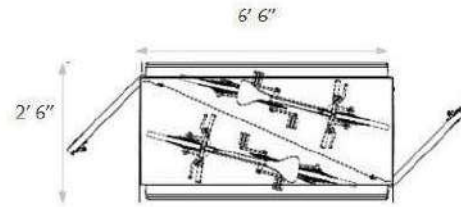
23 TERESPA - STEEL BLUE



DOUBLE DECKER BIKE PARKING



22 BUILDING SIGNAGE



INDIVIDUAL BIKE PARKING
Double cages



21 TEXTURED RIBBED CONCRETE



INDIVIDUAL BIKE PARKING
Single cages



24 VINE ON STEEL CABLES



20 GREEN WALL

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
EXTERIOR
MATERIALS
ISSUE FOR
PLANNING

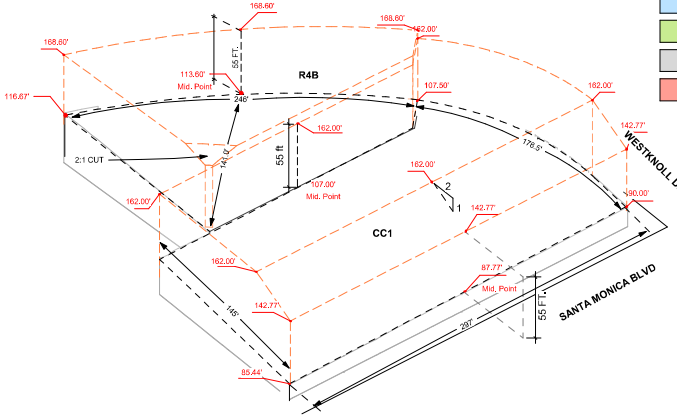
JOB NO.
01020

DATE
March 15 2021

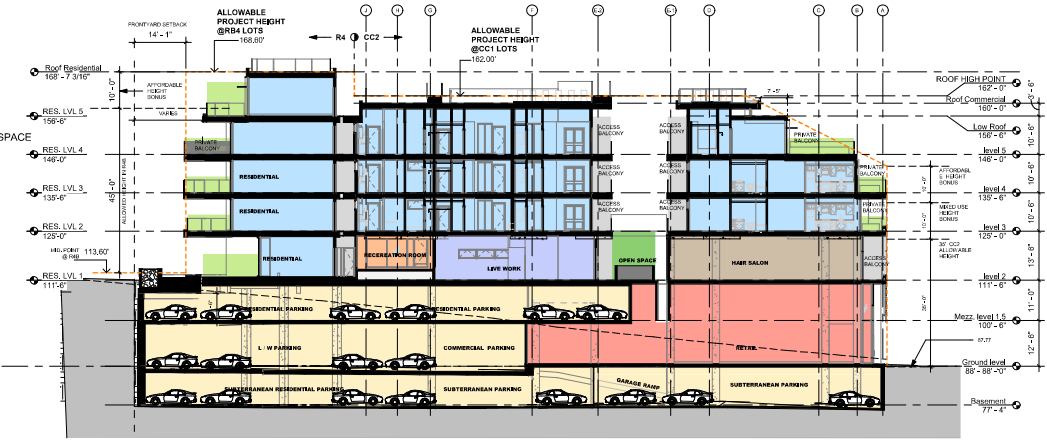
SCALE

SHEET **A3.11**

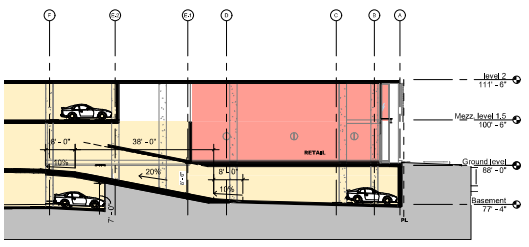
Works shown are preliminary and subject to change without notice. Contractors shall verify, and be responsible for, all dimensions and conditions prior to their starting. This sheet must be submitted to the office for approval before proceeding with fabrication.



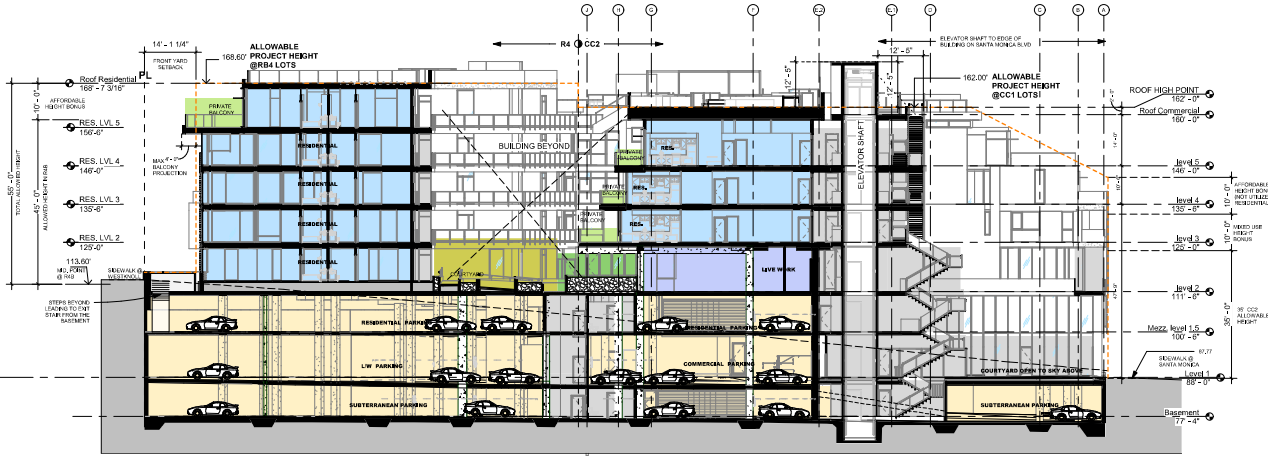
- LEGEND**
- ADDITIONAL OPEN SPACE
 - COMMON AREAS
 - HAIR SALON
 - LIVE/WORK
 - PARKING
 - RESIDENTIAL
 - PRIVATE OPEN SPACE
 - ACCESS
 - RETAIL



2 BUILDING SECTION
1/16" = 1'-0"



3 SECTION THROUGH RAMP
1/16" = 1'-0"



1 BUILDING SECTION
1/16" = 1'-0"

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

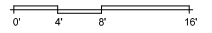
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BUILDING SECTIONS

ISSUE FOR
PLANNING

JOB NO.
01020

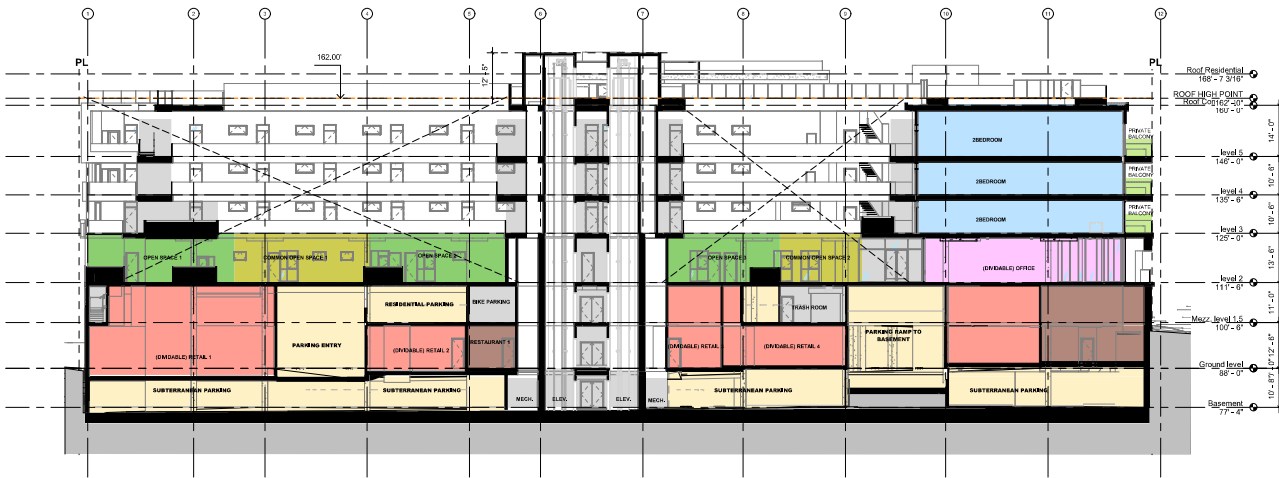
DATE
March 15 2021

SCALE 1/16" = 1'-0"



SHEET **A4.01**

Notes: drawings shall not be used for construction without the approval of the architect. Drawings shall not be used for construction without the approval of the architect. Drawings shall not be used for construction without the approval of the architect. Drawings shall not be used for construction without the approval of the architect.



② BUILDING SECTION
1/16" = 1'-0"

LEGEND

- COMMON OPEN SPACE
- ADDITIONAL OPEN SPACE
- OFFICE
- PARKING
- RESIDENTIAL
- PRIVATE OPEN SPACE
- ACCESS
- RETAIL
- RESTAURANT



① BUILDING SECTION
1/16" = 1'-0"

LEGEND

- HAIR SALON
- OFFICE
- LIVE/WORK
- PARKING
- RESIDENTIAL
- PRIVATE OPEN SPACE
- ACCESS
- RETAIL
- RESTAURANT

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

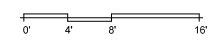
SHEET TITLE
BUILDING SECTIONS

ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE 1/16" = 1'-0"

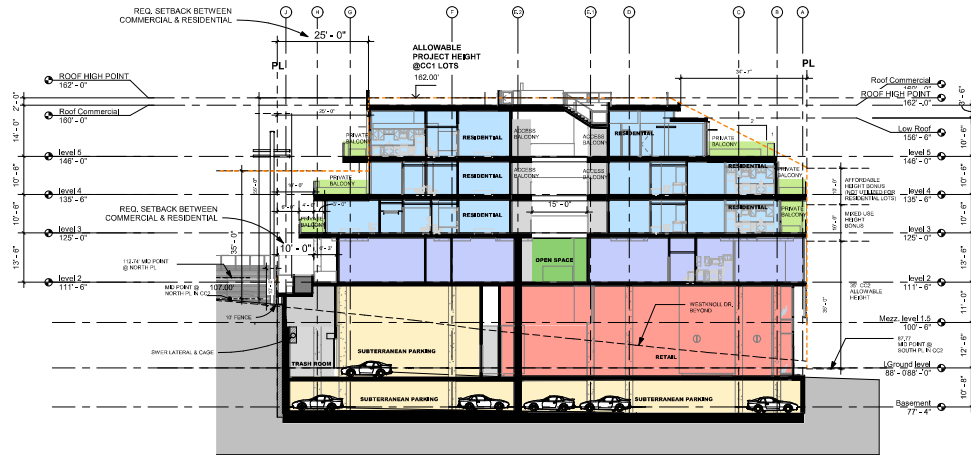


SHEET **A4.02**

Works shown are preliminary. Contractors shall verify, and be responsible for, all dimensions and conditions shown in their drawings. This sheet must be submitted to the office for approval before proceeding with fabrication.

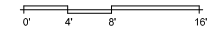


② BUILDING SECTION
1/16" = 1'-0"



- LEGEND**
- ADDITIONAL OPEN SPACE
 - LIVELINE
 - PARKING
 - RESIDENTIAL
 - PRIVATE OPEN SPACE
 - ACCESS
 - RETAIL

① BUILDING SECTION
1/16" = 1'-0"



NOT FOR CONSTRUCTION

JOB TITLE
**8555 SANTA MONICA
MIXED USE DEVELOPMENT**

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
BUILDING SECTIONS

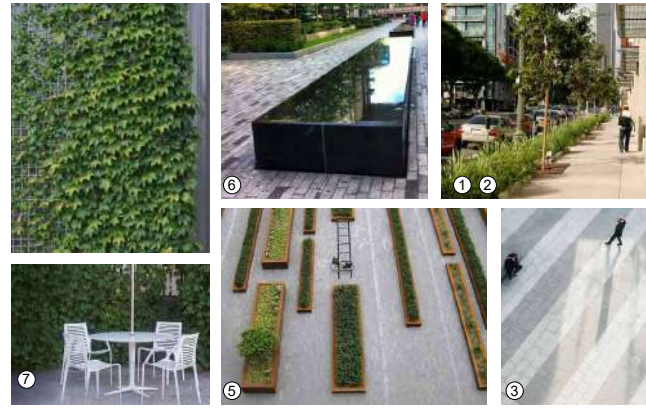
ISSUE FOR
PLANNING

JOB NO.
01020

DATE
March 15 2021

SCALE
1/16" = 1'-0"

SHEET **A4.03**
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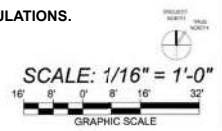


- ① (8) EXISTING CHINESE ELM STREET TREES TO REMAIN
- ② (8) NEW CHINESE ELM STREET TREES TO MATCH EXISTING
- ③ LINEAR CONCRETE PAVER: COURTYARD ENHANCEMENT
- ④ SCORED INTEGRAL COLOR CONCRETE PAVING AT 3 FOOT SET-BACK AREA FROM PROPERTY LINE
- ⑤ RAISED LINEAR PLANTER WITH LOW GRASSY PLANTING
- ⑥ RAISED CENTRAL WATER FEATURE
- ⑦ TABLE AND CHAIR SEATING

PROPOSED PLANT PALETTE: 1ST GROUND

BOTANICAL NAME	COMMON NAME
STREET TREES (36" BOX): OR AS IDENTIFIED IN THE STREET TREE LIST OF THE BUREAU OF STREET MAINTENANCE	
ULMUS PARVIFLORA	CHINESE ELM TREE
GRASSES (5 GALLON):	
DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED TURF LILY
LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH
PARKWAY UNDERPLANTING (SOD):	
AGROSTIS PALLENS	NATIVE BENT GRASS
CLIMBING VINES (5 GALLON):	
FICUS PUMILA	CREEPING FIG
HEDERA HELIX	ENGLISH IVY

NOTE:
 SEE ARCHITECTURAL SHEETS FOR:
 -PROJECT SUMMARY FOR OPEN SPACE CALCULATIONS.
 -COLORED BUILDING RENDERINGS



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GDD
 Gaudet Design Group
 Landscape Architecture
 322 Tejon Place
 Palos Verdes Estates, California 90274
 Tel: 310.628.4908

LICENSED LANDSCAPE ARCHITECT
 STATE OF CALIFORNIA
 3670
 November 2011
 23-07-2021

NOT FOR CONSTRUCTION

JOB TITLE
 8555 SANTA MONICA
 MIXED USE DEVELOPMENT

JOB ADDRESS
 WEST HOLLYWOOD, CA 90069

SHEET TITLE
 1st Ground Floor
 Landscape Plan

ISSUE FOR
 Planning Commission

JOB NO.
 01020

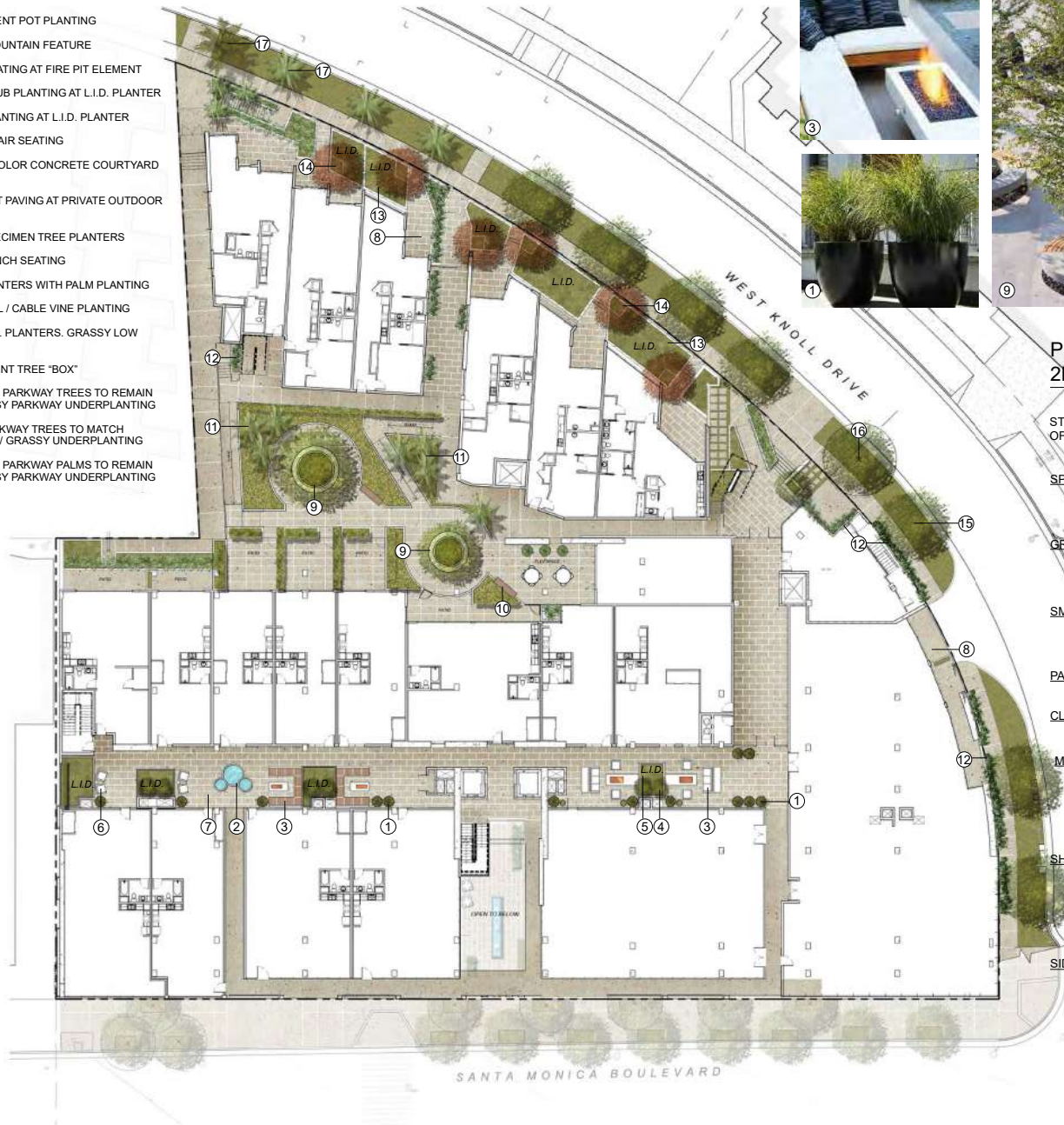
DATE
 March 17th, 2021

SCALE
 As Indicated

SHEET
 L-1.0

When approved on these sheets, the architect and landscape architect shall be responsible for all dimensions and conditions shown on these sheets. The architect shall be responsible for all dimensions and conditions shown on these sheets. The landscape architect shall be responsible for all dimensions and conditions shown on these sheets.

- ① LARGE ACCENT POT PLANTING
- ② CENTRAL FOUNTAIN FEATURE
- ③ LOUNGE SEATING AT FIRE PIT ELEMENT
- ④ LARGE SHRUB PLANTING AT L.I.D. PLANTER
- ⑤ GRASSY PLANTING AT L.I.D. PLANTER
- ⑥ LOUNGE CHAIR SEATING
- ⑦ INTEGRAL COLOR CONCRETE COURTYARD PAVING
- ⑧ TILE ACCENT PAVING AT PRIVATE OUTDOOR DECKS
- ⑨ RAISED SPECIMEN TREE PLANTERS
- ⑩ BUILT-IN BENCH SEATING
- ⑪ RAISED PLANTERS WITH PALM PLANTING
- ⑫ GREEN WALL / CABLE VINE PLANTING
- ⑬ RAISED L.I.D. PLANTERS. GRASSY LOW PLANTING
- ⑭ SMALL ACCENT TREE 'BOX'
- ⑮ (1) NEW PARKWAY TREES TO MATCH EXISTING. W/ GRASSY UNDERPLANTING
- ⑯ (4) EXISTING PARKWAY PALMS TO REMAIN WITH GRASSY UNDERPLANTING



PROPOSED PLANT PALETTE: 2ND FLOOR

BOTANICAL NAME	COMMON NAME
STREET TREES (36" BOX): OR AS IDENTIFIED IN THE STREET TREE LIST OF THE BUREAU OF STREET MAINTENANCE TO MATCH EXISTING	
SPECIMEN ACCENT PALMS (36" BOX):	
ALOE HERCULES	TREE ALOE
HOWEA FORSTERIANA	KENTIA PALM
PHOENIX ROEBELIUS	PYGMY DATE PALM
GRASSES (5 GALLON):	
CHONDROPETALUM ELEPHANT	LARGE CAPE RUSH
DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED TURF LILY
LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS
SMALL ACCENT TREE (15 GAL / 24" BOX):	
AGONIS FLEXUOSA 'JERVIS BAY'	AFTERDARK PEPPERMINT TREE
CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD
PARKWAY UNDERPLANTING (SOD):	
AGROSTIS PALLENS	NATIVE BENT GRASS
CLIMBING VINES (5 GALLON):	
FICUS PUMILA	CREeping FIG
HEDERA HELIX	ENGLISH IVY
MEDIUM ACCENT PLANTING (15 GALLON):	
CYCAS REVOLUTA	SAGO PALM
CRASSULA OVATA 'VARIEGATA'	VARIEGATED JADE PLANT
FURCRAEA FOETIDA 'MEDIOPICTA'	GREEN FALSE ALOE
PHILODENDRON 'XANADU'	XANADU PHILODENDRON
SANSEVIERIA TRIFASCATA	VARIEGATED SNAKE PLANT
ZAMIA FURFURACEA	CARDBOARD PALM
SHRUB PLANTING (5 GALLON):	
ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE
AZALEA SPECIES	WHITE AZALEA
DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED TURF LILY
HYDRANGEA MAC 'LACECAP'	WHITE LACECAP HYDRANGEA
LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH
RHAPHIOLEPSIS UMBELL 'MINOR'	DWARF YEDDO HAWTHORN
NO MOW SOD GROUND COVER	
SIDEWALK POCKET PLANTING (1 GALLON)	
EQUISETUM HYEMALE	HORSETAIL



NOT FOR CONSTRUCTION

JOB TITLE
8355 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
2nd Floor
Landscape Plan

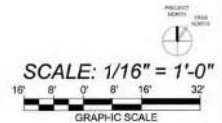
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Planning Commission

JOB NO.
01020

DATE
March 17th, 2021

SCALE
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SHEET
L-1.1



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- ① RAISED L.I.D. PLANTERS
- ② RAISED PLANTERS BETWEEN PRIVATE OUTDOOR DECKS
- ③ TILE ACCENT PAVING AT PRIVATE OUTDOOR DECKS
- ④ INTEGRAL COLOR CONCRETE PAVING
- ⑤ SEMI-PRIVATE SHARED OUTDOOR DECK WITH LOUNGE SEATING AND FIRE PITS

**PROPOSED PLANT PALETTE:
3RD FLOOR**

BOTANICAL NAME	COMMON NAME
SMALL ACCENT TREE (24" BOX):	
AGONIS FLEX. 'JERVIS BAY'	AFTERDARK PEPPERMINT TREE
SEMIARUNDINARIA FASTUOSA	NAHIRA BAMBOO
CITRUS SPECIES	CITRUS TREE
LAGERSTROEMIA IND. 'NATCHEZ'	WHITE CRAPE MYRTLE
GRASSES (5 GALLON):	
CHONDROPETALUM ELEPHANT	LARGE CAPE RUSH
DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED TURF LILY
LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH
HELICOTRICHON SEMPERVIRENS	BLUE OAT GRASS
LARGE POT ACCENT PLANTING: (15 GALLON)	
HOWEA FORSTERIANA	KENTIA PALM
KALANCHOE BEHARENSIS	FELT PLANT
TIBOUCHINA HETEROMALLA	SILVERLEAF PRINCESS FLOWER



NOT FOR CONSTRUCTION

JOB TITLE
 8555 SANTA MONICA
 MIXED USE DEVELOPMENT

JOB ADDRESS
 WEST HOLLYWOOD, CA 90069

SHEET TITLE
 3rd Floor
 Landscape Plan

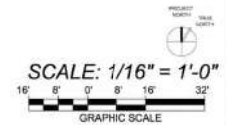
ISSUE FOR
 Planning Commission

JOB NO.
 01020

DATE
 March 17th, 2021

SCALE
 As Indicated

SHEET
L-1.2



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- ① RAISED PLANTERS BETWEEN PRIVATE OUTDOOR DECKS
- ② TILE ACCENT PAVING AT PRIVATE OUTDOOR DECKS
- ③ INTEGRAL COLOR CONCRETE PAVING

**PROPOSED PLANT PALETTE:
4TH FLOOR**

BOTANICAL NAME	COMMON NAME
SMALL ACCENT TREE (24" BOX):	
AGONIS FLEX 'JERVIS BAY'	AFTERDARK PEPPERMINT TREE
SEMIARUNDINARIA FASTUOSA	NAHIRA BAMBOO
CITRUS SPECIES	CITRUS TREE
LAGERSTROEMIA IND. 'NATCHEZ'	WHITE CRAPE MYRTLE
GRASSES (5 GALLON):	
CHONDROPETALUM ELEPHANT	LARGE CAPE RUSH
DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED TURF LILY
LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH
HELICOTRICHON SEMPERVIRENS	BLUE OAT GRASS
LARGE POT ACCENT PLANTING: (15 GALLON)	
HOWEA FORSTERIANA	KENTIA PALM
KALANCHOE BEHARENSIS	FELT PLANT
TIBOUCHINA HETEROMALLA	SILVERLEAF PRINCESS FLOWER



NOT FOR CONSTRUCTION

JOB TITLE
 8555 SANTA MONICA
 MIXED USE DEVELOPMENT

JOB ADDRESS
 WEST HOLLYWOOD, CA 90069

SHEET TITLE
 4th Floor
 Landscape Plan

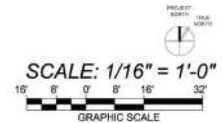
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JOB NO.
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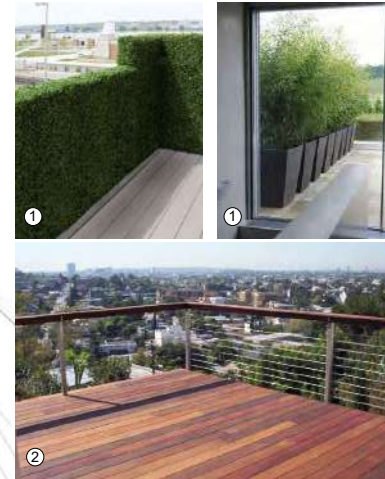
DATE
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SCALE
 As Indicated

SHEET
L-1.3



While attention is drawn to these drawings, the architect does not warrant that they are complete. Drawings shall not be used for construction without the architect's approval. All drawings are provided subject to these drawings. All other matters shall be referred to the office for approval before proceeding with construction.



- ① RAISED PLANTERS. SCREENING OF PRIVATE OUTDOOR DECKS
- ② IPE WOOD AT PRIVATE OUTDOOR DECKS
- ③ INTEGRAL COLOR CONCRETE PAVING

PROPOSED PLANT PALETTE: 5TH FLOOR

BOTANICAL NAME	COMMON NAME
SMALL ACCENT TREE (24" BOX):	
AGONIS FLEX. 'JERVIS BAY'	AFTERDARK PEPPERMINT TREE
SEMIARUNDINARIA FASTUOSA	NAHIRA BAMBOO
CITRUS SPECIES	CITRUS TREE
LAGERSTROEMIA IND. 'NATCHEZ'	WHITE CRAPE MYRTLE
GRASSES (5 GALLON):	
CHONDROPETALUM ELEPHANT.	LARGE CAPE RUSH
DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED TURF LILY
LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS
LARGE POT ACCENT PLANTING: (15 GALLON)	
HOWEA FORSTERIANA	KENTIA PALM
KALANCHOE BEHARENSIS	FELT PLANT
TIBOUCHINA HETEROMALLA	SILVERLEAF PRINCESS FLOWER



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

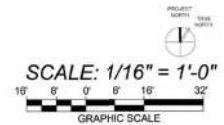
SHEET TITLE
5th Floor
Landscape Plan
ISSUE FOR
Planning Commission

JOB NO.
01020

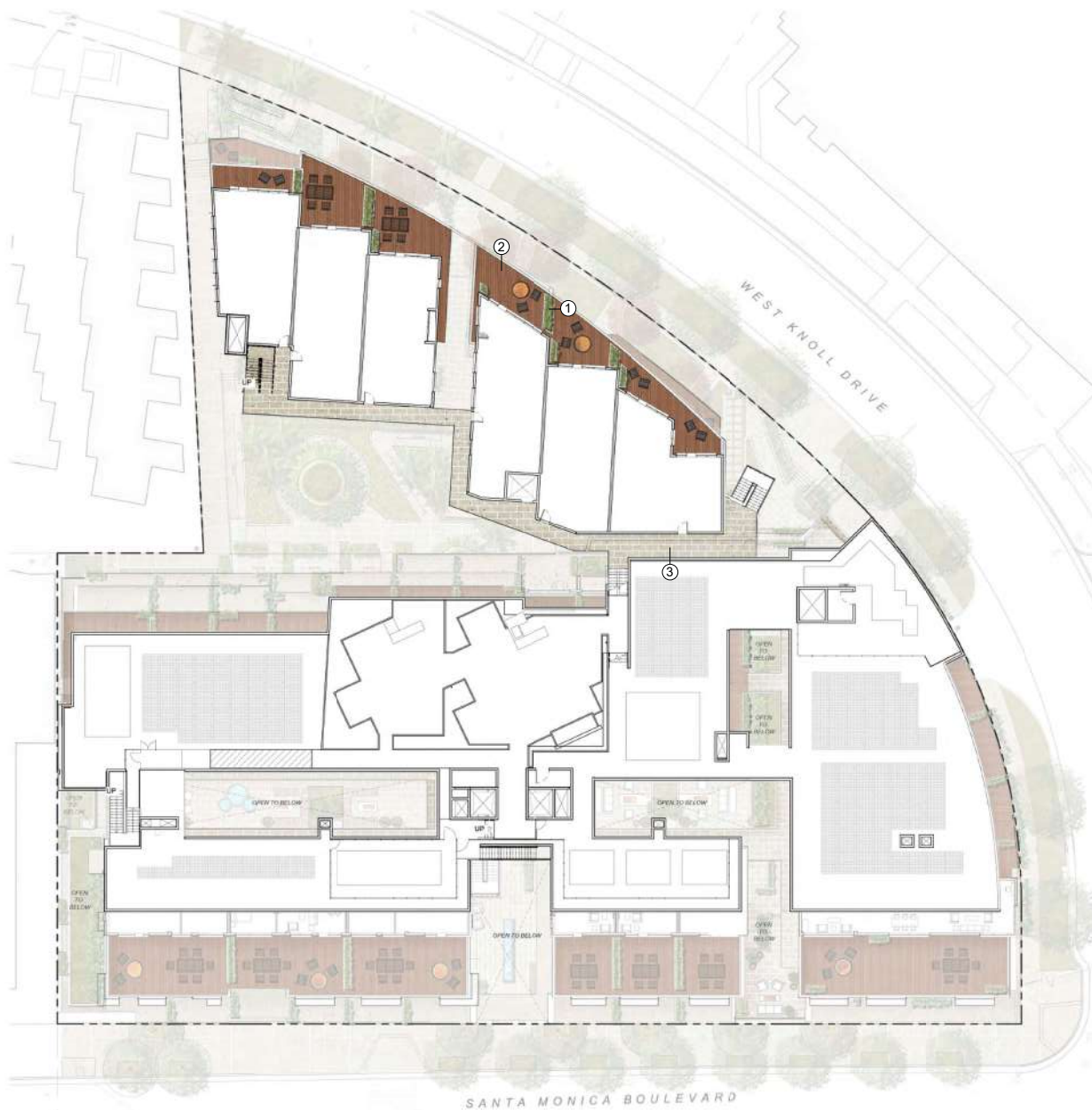
DATE
March 17th, 2021

SCALE
As Indicated

SHEET **L-1.4a**



Notes: Dimensions on these drawings shall have precedence over any other information. Design shall be for general information only and shall not be used for construction without the approval of the architect. All work shall be done in accordance with the approved plans and specifications.



- ① RAISED PLANTERS. SCREENING OF PRIVATE OUTDOOR DECKS
- ② IPE WOOD AT PRIVATE OUTDOOR DECKS
- ③ INTEGRAL COLOR CONCRETE PAVING

**PROPOSED PLANT PALETTE:
5TH FLOOR**

BOTANICAL NAME	COMMON NAME
SMALL ACCENT TREE (24" BOX):	
AGONIS FLEX. 'JERVIS BAY'	AFTERDARK PEPPERMINT TREE
SEMIARUNDINARIA FASTUOSA	NAHIRA BAMBOO
CITRUS SPECIES	CITRUS TREE
LAGERSTROEMIA IND. 'NATCHEZ'	WHITE CRAPE MYRTLE
GRASSES (5 GALLON):	
CHONDROPETALUM ELEPHANT.	LARGE CAPE RUSH
DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED TURF LILY
LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS
LARGE POT ACCENT PLANTING: (15 GALLON)	
HOWEA FORSTERIANA	KENTIA PALM
KALANCHOE BEHARENSIS	FELT PLANT
TIBOUCHINA HETEROMALLA	SILVERLEAF PRINCESS FLOWER



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

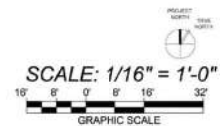
SHEET TITLE
5th Residential Floor
Landscape Plan
ISSUE FOR
Planning Commission

JOB NO.
01020

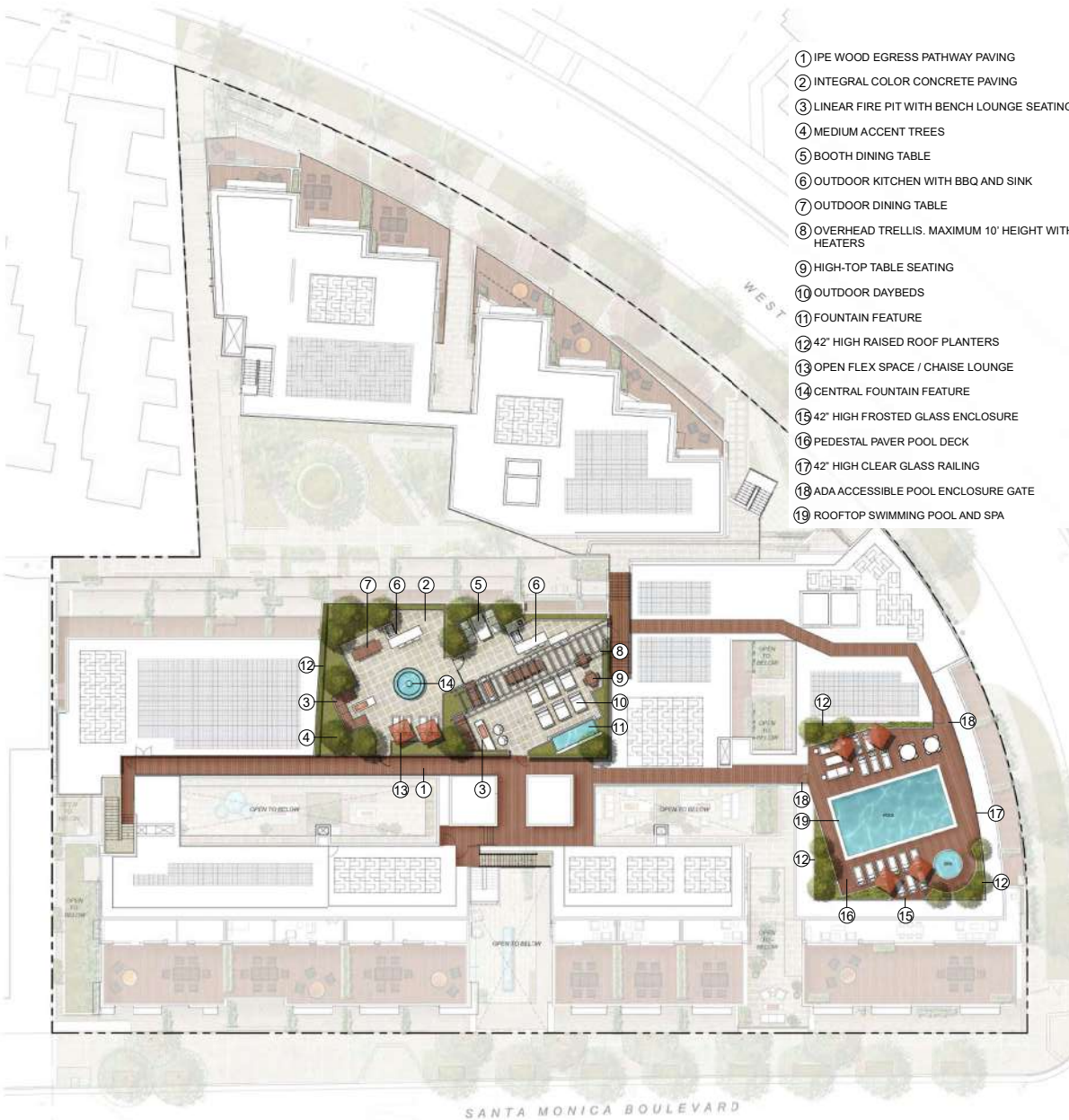
DATE
March 17th, 2021

SCALE
As Indicated

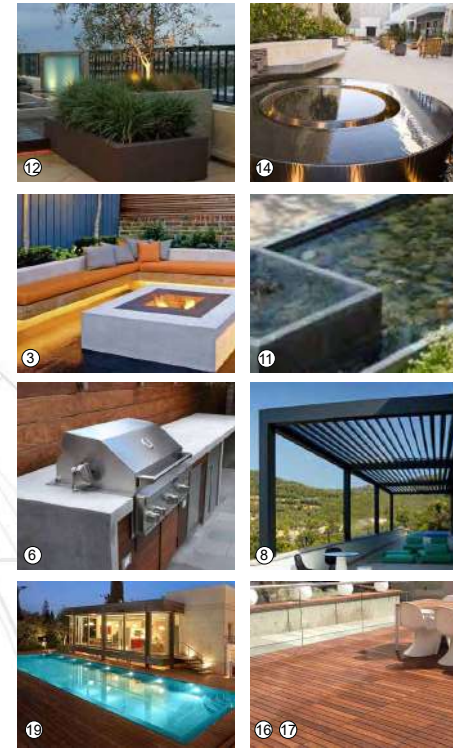
SHEET L-1.4b



While the design is based on the information provided, the designer is not responsible for the accuracy of the information provided. The user is advised to verify the information provided. The user is advised to verify the information provided. The user is advised to verify the information provided.



- ① IPE WOOD EGRESS PATHWAY PAVING
- ② INTEGRAL COLOR CONCRETE PAVING
- ③ LINEAR FIRE PIT WITH BENCH LOUNGE SEATING
- ④ MEDIUM ACCENT TREES
- ⑤ BOOTH DINING TABLE
- ⑥ OUTDOOR KITCHEN WITH BBQ AND SINK
- ⑦ OUTDOOR DINING TABLE
- ⑧ OVERHEAD TRELLIS. MAXIMUM 10' HEIGHT WITH HEATERS
- ⑨ HIGH-TOP TABLE SEATING
- ⑩ OUTDOOR DAYBEDS
- ⑪ FOUNTAIN FEATURE
- ⑫ 42" HIGH RAISED ROOF PLANTERS
- ⑬ OPEN FLEX SPACE / CHAISE LOUNGE
- ⑭ CENTRAL FOUNTAIN FEATURE
- ⑮ 42" HIGH FROSTED GLASS ENCLOSURE
- ⑯ PEDESTAL PAVER POOL DECK
- ⑰ 42" HIGH CLEAR GLASS RAILING
- ⑱ ADA ACCESSIBLE POOL ENCLOSURE GATE
- ⑲ ROOFTOP SWIMMING POOL AND SPA



**PROPOSED PLANT PALETTE:
ROOF LEVEL**

BOTANICAL NAME	COMMON NAME
MEDIUM SPECIMEN TREE (36" BOX):	
MELALEUCA NESOPHILA	PINK MELALEUCA
OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE
MEDIUM ACCENT PLANTING (15 GALLON):	
CYCAS REVOLUTA	SAGO PALM
CRASSULA OVATA 'VARIEGATA'	VARIEGATED JADE PLANT
FURCRAEA FOETIDA 'MEDIOPICTA'	GREEN FALSE ALOE
PHILODENDRON 'XANADU'	XANADU PHILODENDRON
SANSEVIERIA TRIFASCATA	VARIEGATED SNAKE PLANT
ZAMIA FURFURACEA	CARDBOARD PALM
SHRUB PLANTING (5 GALLON):	
ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE
AZALEA SPECIES	WHITE AZALEA
DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED TURF LILY
HYDRANGEA MAC. 'LACECAP'	WHITE LACECAP HYDRANGEA
LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH
RHAPHIOLEPSIS UMBELL. 'MINOR'	DWARF YEDDO HAWTHORN
NO MOW SOD GROUNDCOVER	
GRASSES (5 GALLON):	
CHONDROPETALUM ELEPHANT	LARGE CAPE RUSH
DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED TURF LILY
LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH
HELICOTRICHON SEMPERVIRENS	BLUE OAT GRASS



NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT

JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
Roof
Landscape Plan
ISSUE FOR
Planning Commission

JOB NO.
01020

DATE
March 17th, 2021

SCALE
As indicated

SHEET
L-15

When shown on these drawings, all have permission over local jurisdiction. All drawings and construction shall be the responsibility of all designers and authors shown by these drawings. All sheets must be submitted to the office to request when proceeding with installation.



Acacia cognata 'Cousin Itt'



Agonis flexuosa 'Jervis Bay'



Agrostis pallens



Aloe 'Hercules'



Azalea species. White.



Cercis canadensis 'Forest Pansy'



Chondropetalum elephantum



Citrus species



Crassula ovata 'Variegata'



Cycas revoluta



Dianella tasmanica 'Variegata'



Equisetum hyemale



Ficus pumila



Furcraea foetida



Hedera helix



Helictotrichon sempervirens



Howea forsteriana (specimen)



Hydrangea mac. 'Lacecap'



Kalanchoe beharensis



Lagerstroemia indica 'Natchez'



Lomandra longifolia 'Breeze'



Melaleuca nesophila



No mow



Olea europaea 'Swan Hill'



Philodendron 'Xanadu'



Phoenix roebellii



Rhapiolepis umbellata 'minor'



Sansevieria trifasciata



Semiarundinaria fastuosa



Tibouchina heteromalla



Ulmus parviflora



Zamia furfuracea

NOT FOR CONSTRUCTION

JOB TITLE
8555 SANTA MONICA
MIXED USE DEVELOPMENT
JOB ADDRESS
WEST HOLLYWOOD, CA 90069

SHEET TITLE
Proposed Plant
Material
ISSUE FOR
Planning Commission

JOB NO.
01020
DATE
March 17th, 2021
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SHEET L-1.6

When approved for final construction, the contractor shall be responsible for obtaining and installing all necessary permits and approvals for all proposed and existing plants. The contractor shall be responsible for obtaining all necessary permits and approvals for all proposed and existing plants. The contractor shall be responsible for obtaining all necessary permits and approvals for all proposed and existing plants.