

CITY OF WEST HOLLYWOOD  
CALIFORNIA

CITY OF WEST HOLLYWOOD  
NOTICE INVITING SEALED BIDS FOR  
617 N. ROBERTSON BLVD. PARKING LOT IMPROVEMENTS  
CIP 55-17/18-03  
**ADDENDUM #2**

**Cover Page**

All clarifications and changes detailed in this Addendum (**Items #1&2 including Attachments**) and any previously issued Addenda, shall be incorporated into the work and made part of for City of West Hollywood – 617 N. Robertson Blvd. Parking Lot Improvements, CIP 55-17/18-03. This addendum is issued before the bid opening date to inform bidders of revisions to the Contract Documents and is hereby made a part of the Contract Documents. The following changes, additions, and/or clarifications shall be made to the specifications for the work of the above-mentioned project. In case of a conflict between specifications and this Addendum, this Addendum shall govern. All requirements contained in the Contract Documents shall apply to this Addendum, and the general character of the work called for in this Addendum shall be the same as originally set forth in the applicable portions of the Contract Documents for similar work, unless otherwise specified under this Addendum, and all incidental work necessitated by this Addendum as required to complete the work shall be included in the bid, even though not specifically mentioned in this Addendum. The balance of the contract documents shall remain unchanged.

This Addendum contains changes that are materially substantial to the Bid. Each prime bidder is responsible for distribution of information conveyed herein to its sub-bidders and suppliers.

This Addendum as well as any previously issued Addendum shall take precedence over all other conditions, specifications and requirements in the Notice Inviting Bids, Documents. Except as noted in this Addendum and any previously issued Addenda, all other provisions of the Notice Inviting Bids issued for the for 617 N. Robertson Blvd. Parking Lot Improvements, CIP 55-17/18-03, shall remain.

**All Proposers are required to acknowledge this Addendum online, prior to the submission of their Proposal.**

Inquiries concerning this Addendum can be made by contacting the City of West Hollywood at 323-848-6895.

Addendum Issued by:

*Helen Collins*

Helen Collins, Senior Administrative Analyst  
Facilities and Field Services Division

December 26, 2017  
Date

CITY OF WEST HOLLYWOOD  
CALIFORNIA

NOTICE INVITING SEALED BIDS FOR  
617 N. ROBERTSON BLVD. PARKING LOT IMPROVEMENTS  
CIP 55-17/18-03

**ADDENDUM #2**

**ITEM #1: Change to Plan Sheets**

**See Attachment #1 for narrative of changes to plan sheets and amended plan sheets C0.00, C1.01 and C3.01**

Narrative and revised plan sheets will also be uploaded to the Documents tab in Planetbids.

**ITEM #2: Fence Specifications**

**See Attachment #2 Fence specifications**

Fence Specifications will also be added to the Documents tab in Planetbids.

**END OF ITEMS**

CITY OF WEST HOLLYWOOD  
CALIFORNIA

**NOTICE INVITING SEALED BIDS FOR  
617 N. ROBERTSON BLVD. PARKING LOT IMPROVEMENTS  
CIP 55-17/18-03**

**ADDENDUM #2**

**- Acknowledgement -**

**Notice to Proposers:**

**Each Proposer is required to acknowledge the incorporation of Addendum Number #2(Items #1&2 to include Attachments) in their Proposal. This acknowledgement shall be done online and prior to the submission of your proposal packet. This Addendum contains changes that are materially substantial to the Bid. Each prime bidder is responsible for distribution of information conveyed herein to its sub-bidders and suppliers.**

**ATTACHMENTS:**

**Attachment #1** - Narrative of changes to plan sheets and amended plan sheets C0.00, C1.01 and C3.01.

**Attachment # 2** - Fence Specifications

# Attachment #1

## ROBERTSON BLVD. PARKING LOT IMPROVEMENTS

### CITY OF WEST HOLLYWOOD

#### ADDENDUM NO. 2

**ADDENDUM NO.2** for the above referenced project hereby modifies the bid documents, as follows:

#### **Addendum Items:**

##### **Change to Plan Sheets**

Changes, additions, and/ or deletions are made to the following Plan sheets for the above noted project:

**Sheet C0.00** – Change property address to 617 North Robertson Boulevard.

**Sheet C0.00** – Change project scope of work address to 617 North Robertson Boulevard.

**Sheet C0.00** – Index to Sheets: Remove sheets E801 and E802.

**Sheet C1.01** – General not added to cover removal of existing concrete footings embedding within asphalt pavement.

**Sheet C1.01** – Demolition Note 12 revised to include: Contractor shall obtain City of West Hollywood arborist approval prior to cutting roots of existing tree.

**Sheet C1.01** – Callout added to identify removal of existing above-ground unknown pole within fence along Robertson.

**Sheet C3.01** – Construction Note 8 shall read: 3' high ornamental fence, provided and installed by contractor. Fence shall substantially match 5' high fence provided by City of West Hollywood. City of West Hollywood shall approve proposed fence prior to installation. Footing per SPPWC Std. Plan 600-2 or fence manufacturer's recommendation. Color to match city-provided fencing.

**Sheet C3.01** – Construction Note 9 shall read: Mill and overlay top 2" of asphalt pavement to match existing grades. Contractor shall coordinate with City of West Hollywood to determine areas without suitable existing asphalt pavement and provide full depth pavement section in such areas per Detail 1 on Sheet C6.01.

**Sheet C3.01** – Construction Note 14 shall read: 5' high ornamental fence. Contractor shall obtain 88 LF of owner-furnished contractor-installed fence from City of West Hollywood's storage area and transport to project site. This fence shall be cleaned, refurbished, painted, and installed along alley. 110 LF of 5' high fence along northeast portion of site shall substantially match 5' high fence provided by City of West Hollywood. City of West Hollywood shall approve proposed fence prior to installation. For all fencing, footing per SPPWC Std. Plan 600-2 or fence manufacturer's recommendation. Color to match city-provided fencing. Contractor to provide posts for city-provided fencing.

**Sheet C3.01** – Construction Note 15 shall read: 2'x2'x2' Portland cement concrete pad for pay station. Top of pad to be set 1" above adjacent pavement. Coordinate with pay station manufacturer to assure anchor bolt and electrical conduit locations. City of West Hollywood to furnish and install pay station. Pay station basis of design is T2 Systems, Luke II.

**Sheet C3.01** – Construction Note 18 shall read: Lighted rate sign. Contractor shall submit a deferred submittal for the sign and pole by sign fabricator. All components, including wiring and installation will be provided by Contractor. Rate sign shall be (1) double-sided 48"W x 72"H x 3/16" clear lexan rate sign faces, painted and lettered in reverse, with slides for rates. Verify verbiage with City of West Hollywood. Install aluminum sign cabinet on new mounting pole. Install new lamps and hook up electrical at base of mounting pole. Prep and paint sign cabinet and mounting pole with reflex blue commercial grade paint. Pole shall extend along length of sign (side mounted sign) with bottom of sign mounted at 80" above finished grade. Concrete footing shall be per Detail 1 / Sheet E601.

**Sheet C3.01** – Construction Note 19 shall read: City provided bike rack.

**Sheet C3.01** – Construction Note 20 shall read: 1" water service. Coordinate with City of West Hollywood prior to installation.

**Sheet C3.01** – Construction Note 21 shall read: 2" diameter irrigation piping, coordinate with City of West Hollywood prior to installation.

**Sheet C3.01** – Construction Note 23 shall read: 2" backflow assembly. BFP shall be Zurn-Wilkins 300AST series. Coordinate with City of West Hollywood prior to installation.

**Sheet C3.01** – Construction Note 25 added for 80 mil bamboo barrier.

**Sheet C3.01** – Bamboo barrier added to plan along western edge.

**Sheet C3.01** – Length of fence along alley revised to be 88 ft.

**Sheet C3.01** – Asphalt paving added to plan in area between alley/property line and southern edge of cross gutter.

**Sheet E801** – Sheet is eliminated from drawing set. Electrical specifications are added to project specifications.

**Sheet E802** – Sheet is eliminated from drawing set. Electrical specifications are added to project specifications.

**GENERAL NOTES:**

- NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE CITY OF WEST HOLLYWOOD'S REPRESENTATIVE.
- SITE BOUNDARIES, EASEMENTS, DRAINAGE DEVICES, AND RESTRICTED USE AREAS SHALL BE LOCATED PER CONSTRUCTION STAKING BY FIELD ENGINEER OR LICENSED SURVEYOR PRIOR TO GRADING.
- IF GRADING AUTHORIZED BY THIS PLAN IS TO EXTEND THROUGH THE RAINY SEASON, NOVEMBER 1 THROUGH APRIL 15 OF THE FOLLOWING YEAR, SEPARATE UPDATED PLANS FOR EROSION CONTROL MUST BE SUBMITTED TO THE CITY OF WEST HOLLYWOOD.
- ALL OPENINGS RESULTING FROM THE CUTTING OR PARTIAL REMOVAL OF EXISTING CULVERTS, PIPES OR SIMILAR STRUCTURES SHALL BE SEALED WITH 8 INCHES OF BRICK AND MORTAR OR 6 INCHES OF CONCRETE, UNLESS OTHERWISE SHOWN.
- CONTRACTOR SHALL ADHERE TO ALL RECOMMENDATIONS SET FORTH IN THE PROJECT GEOTECHNICAL REPORT AND ANY SUBSEQUENT ADDENDUMS, UNLESS SPECIFICALLY AUTHORIZED BY THE GEOTECHNICAL ENGINEER AND THE CITY'S REPRESENTATIVE.
- DISTURBED AREA SHALL NOT EXCEED 5,000 SQUARE FEET OF IMPERVIOUS SURFACE.

**NOTES TO CONTRACTOR:**

- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
- PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR UNDERGROUND FACILITIES, INCLUDING THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND/ABOVEGROUND FACILITIES AT CROSSING WITH PROPOSED UNDERGROUND/ABOVEGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
- ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE CITY OR ENGINEER.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
- THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER.
- A LICENSED LAND SURVEYOR OR A REGISTERED CIVIL ENGINEER SHALL PERFORM CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL REPLACE ANY SURFACE OR SUBSURFACE IMPROVEMENTS DAMAGED OR REMOVED DUE TO CONSTRUCTION AND IS REQUIRED TO REPLACE THEM TO THEIR ORIGINAL CONDITION, INCLUDING PERMANENT TRENCH RESURFACING.
- PRIOR TO EXCAVATION, CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA (800-227-2600) FOR PUBLIC UTILITIES.
- ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
- CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY INSPECTIONS FOR ALL WORK.
- STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE DURING INTERIM CONDITIONS OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR EROSION, DUST, MUD, SILT, DEBRIS, AND TEMPORARY DRAINAGE CONTROL DURING CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR THE DISCHARGE OF STORM WATER RUNOFF AND GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH THE EXCAVATIONS AND CONSTRUCTION WORK SHOWN ON THESE PLANS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE GREENBOOK), CURRENT EDITION, ALL SUPPLEMENTS THERETO, AND THE CITY OF WEST HOLLYWOOD STANDARDS AS REQUIRED.
- CONSTRUCTION OF THE PROJECT WILL REQUIRE THE CONTRACTOR TO COORDINATE WITH THE CITY OF WEST HOLLYWOOD AND MAINTAIN TRAFFIC IN THE AREAS OF CONSTRUCTION. CONTRACTOR WILL MAINTAIN ACCESS TO ADJOINING BUILDINGS AND DRIVEWAYS AT ALL TIME. PROVIDE TEMPORARY DRIVEWAYS, AND PROVIDE TRAFFIC-RATED PLATES OVER OPEN TRENCHES. CONTRACTOR SHALL LIMIT THE AMOUNT OF OPEN TRENCH SO THAT TRAFFIC CAN BE MAINTAINED. CONFORM TO THE GENERAL CONDITIONS. IF REQUIRED, CONTRACTOR SHALL IMPORT FILL MATERIAL FROM OFF-SITE.
- IF ANY UNFORESEEN SUB-SURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, THEY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE SOILS ENGINEER AND FIELD ENGINEER BEFORE PROCEEDING FURTHER.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO EXISTING FIRE LANES AT ALL TIMES. COORDINATE WITH FIRE AUTHORITY.
- THE ENGINEER IS NOT RESPONSIBLE FOR THE CONTRACTOR'S CONSTRUCTION METHODS.
- SUBMIT SHOP DRAWINGS AND LAYOUT DRAWINGS FOR ALL MATERIALS PRIOR TO ANY MATERIAL PURCHASE OR INSTALLATION.
- REMOVE INTERFERING PORTIONS OF EXISTING ABANDONED UTILITIES AS REQUIRED TO CONSTRUCT PROJECT. VERIFY ABANDONED STATUS PRIOR TO REMOVAL.
- ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.

**DEMOLITION NOTES:**

- CONTRACTOR TO CLEAR PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITIES, STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN
- THE CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR CLEARING THE SITE IN PREPARATION FOR CONSTRUCTION.
- PRIOR TO THE START OF GRADING, ALL EXISTING VEGETATION AND DEBRIS (INCLUDING EXISTING STRUCTURES, FOOTINGS, FOUNDATIONS, RUBBLE, TREES AND ROOT SYSTEMS) SHALL BE REMOVED FROM THE SITE TO THE SATISFACTION OF THE SOILS ENGINEER.
- THE ENGINEER OF RECORD ASSUMES NO LIABILITY FOR THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITY LINES, STRUCTURES OR IRRIGATION LINES. THE CONTRACTOR IS TO MAKE AN ON-SITE INSPECTION AND NOTIFY ALL UTILITY AND IRRIGATION COMPANIES PRIOR TO WORK OR EXCAVATION TO DETERMINE THE EXACT LOCATION OF ANY AND ALL UNDERGROUND FACILITIES.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
- DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- ANY WALLS, FENCES, STRUCTURES AND/OR APPURTENANCES ADJACENT TO THIS PROJECT SHALL BE PROTECTED IN PLACE. IF GRADING OPERATIONS DAMAGE OR ADVERSELY AFFECT SAID ITEMS IN ANY WAY, THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR WORKING OUT AN ACCEPTABLE SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNER(S).
- CONTRACTOR TO CAP AND MARK ALL UTILITY SERVICES TO BUILDING TO BE DEMOLISHED.
- CONTRACTOR SHALL MAINTAIN AS-BUILT DRAWINGS OF ALL UTILITIES ENCOUNTERED DURING DEMOLITION, AND RECORD THE LOCATIONS OF ALL CAPPED UTILITIES. INFORM THE SURVEYOR TO LOCATE AND RECORD ACTUAL LOCATIONS.
- ALL ITEMS OUTSIDE THE LIMIT OF WORK ARE TO BE PROTECTED IN PLACE.
- COORDINATE SALVAGE OF REMOVAL ITEMS/EQUIPMENT WITH THE CITY OF WEST HOLLYWOOD.
- DUST CONTROL SHALL BE IMPLEMENTED DURING DEMOLITION.
- ALL DEMOLITION SHALL COMPLY WITH CHAPTER 34 OF THE CBC AND ARTICLE 87 OF THE CFC.
- CONTRACTOR TO FENCE SITE AS REQUIRED DURING CONSTRUCTION.

**SURVEY CONTROL:**

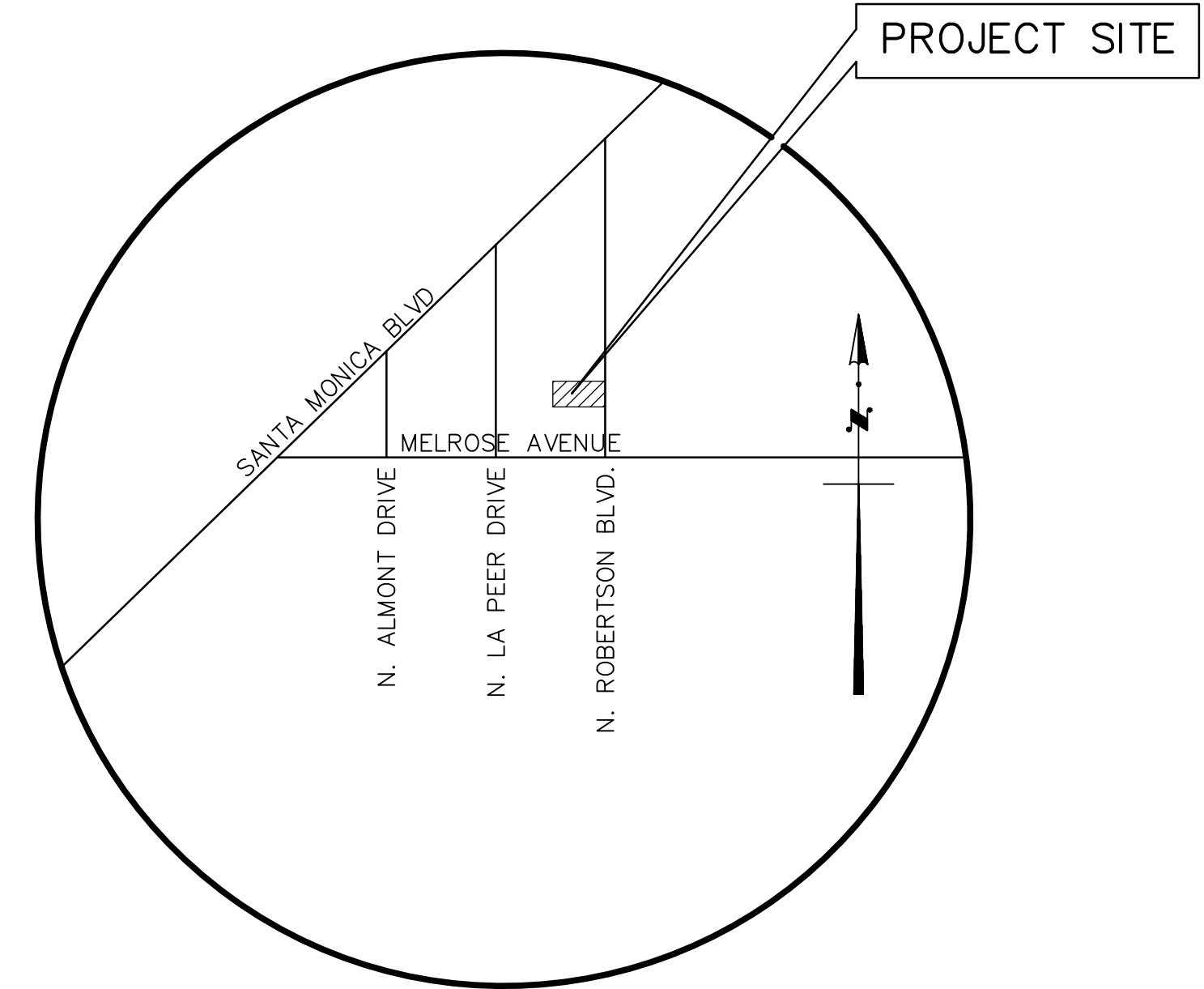
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 DESCRIPTION: L&T IN N CB MELROSE AVE 1' E/O BCR 37' N/O C/L & 79' E/O C/L SAN VICENTE BLVD.  
 ELEVATION = 178.357 FEET

**PROJECT SCOPE OF WORK:**

THE CITY OF WEST HOLLYWOOD IS DEVELOPING A PARKING LOT AT 617 N. ROBERTSON BLVD. THE IMPROVEMENTS INCLUDE ADDING 27 REGULAR PARKING SPACES AND 2 ACCESSIBLE PARKING SPACES, WITH 2 REGULAR PARKING SPACES DESIGNATED AS FUTURE ELECTRIC VEHICLE CHARGING STATIONS; PARKING LOT LIGHTING; A BIKE RACK; AND AN ELECTRIC PAY STATION.

**ABBREVIATIONS**

ASPH	ASPHALT PAVEMENT
APWA	AMERICAN PUBLIC WORKS ASSOCIATION
BW	BACK OF WALK
ELEV	ELEVATION
C	CUT
CF	CURB FACE
CLF	CHAIN LINK FENCE
COM	COMMUNICATIONS
CONC	CONCRETE PAVEMENT
DC	DEPRESSED CURB
DS	DOWNSPOUT
E	ELECTRICAL LINE
EPB	ELECTRICAL PULL BOX
F	FILL
FDC	FIRE DEPARTMENT CONNECTION
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FS	FINISHED SURFACE
FW	FIRE WATER
GB	GRADE BREAK
HP	HIGH POINT ELEVATION
INV	INVERT
IRR	IRRIGATION WATER
LP	LOW POINT ELEVATION
N	NATURAL
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
P.A.	PLANTER AREA
PCC	PORTLAND CEMENT CONCRETE
R	RIDGE
R/W	RIGHT OF WAY
S	SLOPE
STA	STATION
SSPWC	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION
SPPWC	STANDARD PLAN FOR PUBLIC WORKS CONSTRUCTION
STD.	STANDARD
T	TELEPHONE LINE
TC	TOP OF CURB
TW	TOP OF WALL



**VICINITY MAP**  
NOT TO SCALE

**PROPERTY ADDRESS:**

617 NORTH ROBERTSON BOULEVARD  
 WEST HOLLYWOOD, CALIFORNIA 90069

**PROPERTY OWNER:**

CITY OF BEVERLY HILLS  
 455 NORTH REXFORD DRIVE  
 BEVERLY HILL, CA 90210

**CIVIL ENGINEER:**

PSOMAS  
 555 SOUTH FLOWER STREET, SUITE 4400  
 LOS ANGELES, CA 90071-2405

**PROPERTY LEASEE:**

CITY OF WEST HOLLYWOOD  
 8300 SANTA MONICA BOULEVARD  
 WEST HOLLYWOOD, CA 90069

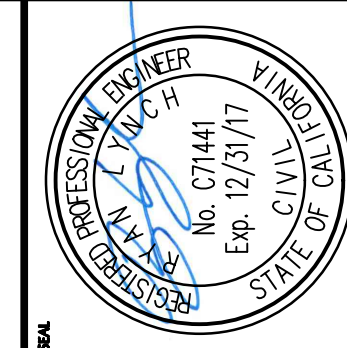
**ELECTRICAL ENGINEER:**

P2S ENGINEERING, INC.  
 5000 EAST SPRING STREET, 8TH FLOOR  
 LONG BEACH, CA 90815-5218

INDEX TO SHEETS	
SHT No.	DESCRIPTION
C0.00	GENERAL CIVIL NOTES, LEGEND, AND ABBREVIATIONS
C0.01	EXISTING CONDITIONS PLAN
C1.01	DEMOLITION PLAN
C2.01	HORIZONTAL CONTROL AND STRIPING PLAN
C3.01	GRADING, DRAINAGE, AND PAVING PLAN
C6.01	CIVIL DETAILS
E001	GENERAL NOTES, LEGEND ABBREVIATIONS AND SHEET INDEX
E002	SCHEDULES AND DIAGRAMS
E101	SITE PLAN
E801	DETAILS
E701	TITLE 24 COMPLIANCE FORMS
E702	TITLE 24 COMPLIANCE FORMS
EP101	SITE PLAN - PHOTOMETRICS

**DIAL TOLL FREE**  
 1-800-227-2600  
 AT LEAST TWO DAYS  
 BEFORE YOU DIG

UNDERGROUND SERVICE ALERT  
 OF SOUTHERN CALIFORNIA



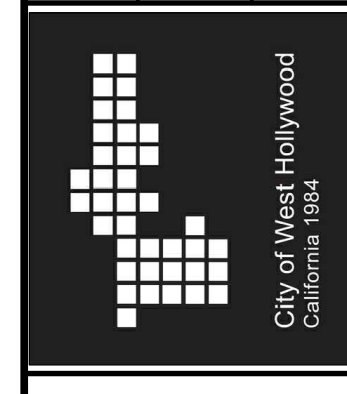
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SCALE	AS SHOWN
PROJECT NUMBER	1WES910401

**GENERAL CIVIL NOTES, LEGEND, & ABBREVIATIONS**

**ROBERTSON BLVD. PARKING LOT IMPROVEMENTS**

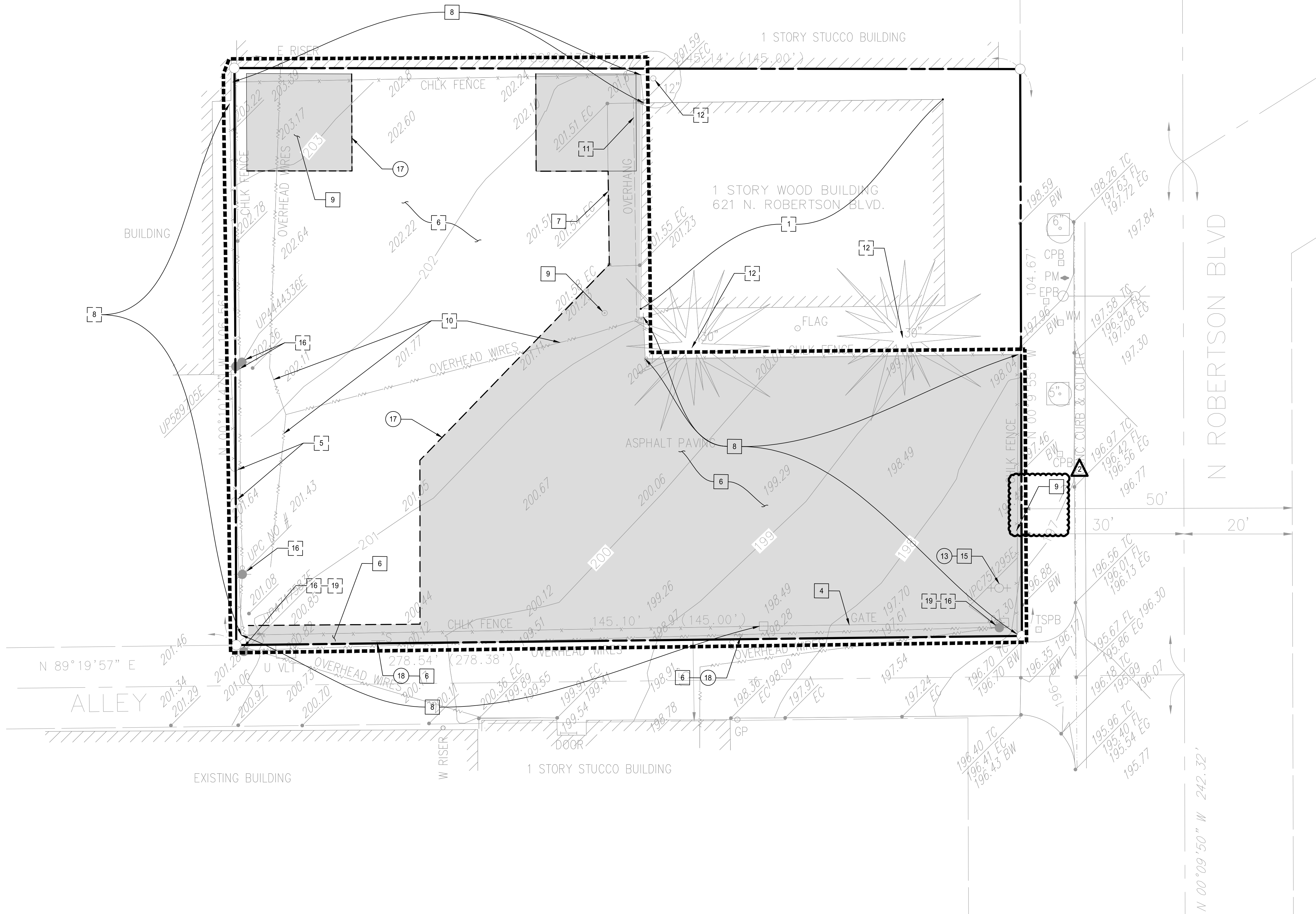
**PSOMAS**  
 555 South Flower Street, Suite 4400  
 Los Angeles, CA 90071  
 Tel: (213) 223-1444 fax  
 www.psomas.com

DATE	BY	APP'D
12/22/2017	ADDENDUM 2	
7/27/2017	BID SET	



**C0.00**

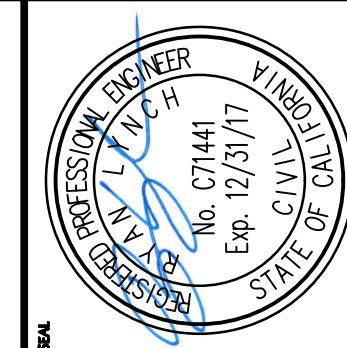
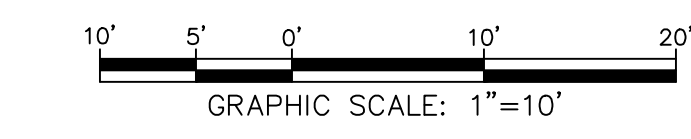
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- LEGEND :**
- SAWCUT LINE
  - /// EXISTING BUILDING
  - PROPERTY / BOUNDARY LINE
  - LIMIT OF WORK
  - ASPHALT DEMOLITION AREA

- GENERAL NOTES :**
1. EXCEPT AS NOTED, WITHIN DEMOLITION AREA REMOVE EXISTING ROOTS, SHRUBS, STRUCTURES, RETAINING WALL AND WALL FOOTINGS, CONCRETE SWALES, FENCING, LIGHTING SYSTEM, STRUCTURAL FOUNDATIONS, PAVED PATHS AND STAIRS, CONCRETE OR ASPHALT PAVEMENT, CURBS, GUTTERS, ANY EXISTING SURFACE IMPROVEMENTS NOT SPECIFICALLY NOTED TO REMAIN AND ALL MISCELLANEOUS TRASH ON-SITE.
  2. CUT AND CAP UTILITY SERVICES 12" INSIDE PROPERTY LINE.
  3. REMOVE EXISTING FIRE HYDRANT. COORDINATE REMOVAL WITH CITY OF BEVERLY HILLS WATER DEPARTMENT. CAP EXISTING WATER LATERAL PER GREENBOOK STANDARDS.
  4. PROTECTED ASPHALT PAVEMENT SHALL BE SWEEPED CLEAN, AND EDGES SHALL BE TRIMMED TO PROVIDE A CLEAN EDGE.
  5. REMOVE EXISTING UNKNOWN UTILITY POLE. COORDINATE WITH CITY OF WEST HOLLYWOOD STAFF.
  6. REMOVE SIGNS AND STORE DURING CONSTRUCTION. REPLACE AT THE COMPLETION OF CONSTRUCTION PER CITY OF WEST HOLLYWOOD SIGN STANDARDS.
  7. SCE RECENTLY INSTALLED TWO NEW POWER POLES ADJACENT TO THE ALLEY. BOTH POWER POLES SHALL BE PROTECTED IN PLACE.
  8. DISTURBED AREA SHALL NOT EXCEED 5,000 SQUARE FEET OF IMPERVIOUS SURFACE.
  9. REMOVE EXISTING CONCRETE FOOTING EMBEDDED WITHIN ASPHALT PAVEMENT. ▲

- DEMOLITION NOTES :**
- CONSTRUCT
  - EXISTING TO REMAIN - PROTECT IN PLACE
  - EXISTING TO REMOVE
  - REMOVE & RELOCATE
  - ADJUST TO GRADE
  - BY OTHERS
1. BUILDING
  2. CURB AND GUTTER
  3. CURB
  4. GATE
  5. GUY WIRE
  6. ASPHALT PAVING (REFER TO C3.01 FOR ADD'L INFORMATION)
  7. CONCRETE PAVING
  8. FENCE
  9. UNKNOWN POLE - SEE NOTE 5 ABOVE
  10. OVERHEAD WIRES
  11. OVERHANG
  12. TREE. CONTRACTOR SHALL OBTAIN CITY OF WEST HOLLYWOOD ARBORIST APPROVAL PRIOR TO CUTTING ROOTS OF EXISTING TREE. ▲
  13. CUT AND CAP UTILITY LINE
  14. NOT USED
  15. FIRE HYDRANT - SEE NOTE 3 ABOVE
  16. POWER POLE - SEE NOTE 7 ABOVE
  17. SAWCUT LINE
  18. SIGN - SEE NOTE 6 ABOVE
  19. LIGHT POLE

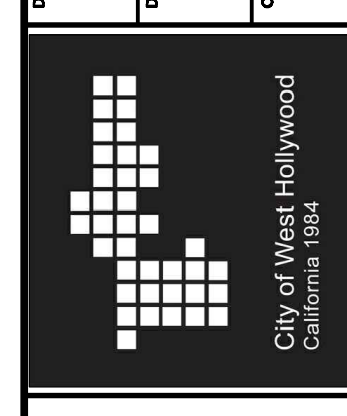


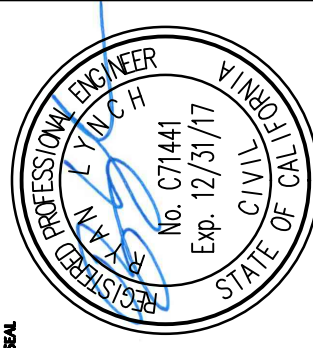
DATE: 05/26/2017  
SCALE: AS SHOWN  
PROJECT: 1WES910401

**DEMOLITION PLAN**  
**ROBERTSON BLVD. PARKING LOT IMPROVEMENTS**

**PSOMAS**  
555 South Flower Street, Suite 4400  
Los Angeles, CA 90071  
Tel: (213) 233-1444 fax  
www.psomas.com

NO.	DESCRIPTION	DATE	BY	CHKD	APPD
1	ADDENDUM 2	12/22/2017	EM	RL	EM
2	BID SET	7/27/2017	EM	RL	EM





DATE: 05/26/2017  
 SCALE: AS SHOWN  
 NUMBER: 1WES910401

GRADING, DRAINAGE, AND PAVING PLAN  
 ROBERTSON BLVD. PARKING LOT IMPROVEMENTS

**PSOMAS**  
 555 South Flower Street, Suite 4400  
 Los Angeles, CA 90071  
 (213) 233-1444 fax  
 www.psomas.com

NO.	DATE	BY	CHKD.	APPD.
1	12/22/2017	ADDENDUM 2		
2	7/27/2017	BID SET		



C3.01

**LEGEND:**

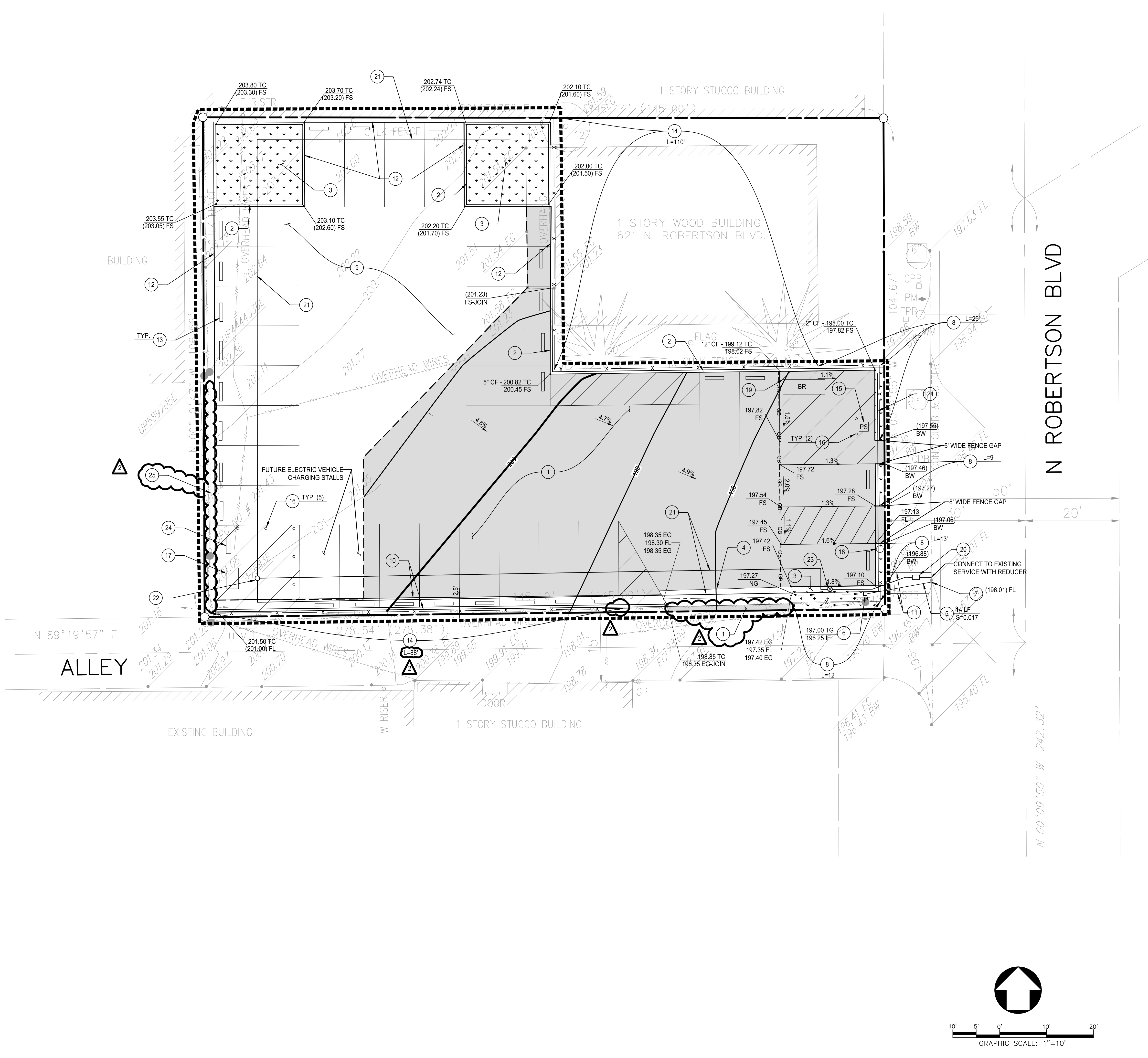
- ASPHALT CONCRETE PAVEMENT PER DETAIL 1 / SHEET C6.01
- PLANTER AREA
- PROJECT LIMIT
- SAWCUT LINE
- PROPOSED CONTOUR LINE
- GRADE BREAK
- CENTERLINE
- EXISTING CONTOUR LINE
- PROPERTY / BOUNDARY LINE

**GENERAL NOTES:**

1. ASPHALT PAVEMENT SHALL MAINTAIN MAXIMUM 5% SLOPE.
2. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AT SAWCUT AND JOIN LIMITS PRIOR TO CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES.
3. FOR LIGHTING AND PAY STATION, REFER TO ELECTRICAL PLANS.
4. IRRIGATION CONTROLLER INSTALLATION BY OTHERS.
5. NEW POWER POLES HAVE BEEN INSTALLED ADJACENT TO THE PROPERTY ALONG THE ALLEY. PROTECT THE POWER POLES AND MODIFY PROPOSED FENCE LAYOUT AS NEEDED.
6. DISTURBED AREA SHALL NOT EXCEED 5,000 SQUARE FEET OF IMPERVIOUS SURFACE.

**CONSTRUCTION NOTES:**

- CONSTRUCT
  - EXISTING TO REMAIN - PROTECT IN PLACE
  - EXISTING TO REMOVE
  - REMOVE & RELOCATE
  - ADJUST TO GRADE
  - WORK BY OTHERS
1. ASPHALT CONCRETE (AC) PAVEMENT PER DETAIL 1 / SHEET C6.01.
  2. CONCRETE CURB PER SPPWC STD. PLAN 120-2, A1-6, CF= VARIES.
  3. LANDSCAPE DESIGN AND IRRIGATION DESIGN BY OTHERS.
  4. 4-FT CROSS GUTTER PER SPPWC STD. PLAN 122-2.
  5. 3" DIA. STORM DRAIN LINE - PVC (SDR 35). LENGTH AND SLOPE PER PLAN.
  6. 9"x9" CATCH BASIN. NDS PRODUCTS MODEL 900 WITH FILTER AND PEDESTRIAN RATED STEEL GRATE, OR APPROVED EQUAL.
  7. CONNECT 3" DIA. PVC STORM DRAIN TO EXISTING GUTTER THROUGH CURB FACE.
  8. 3' HIGH ORNAMENTAL FENCE, PROVIDED AND INSTALLED BY CONTRACTOR. FENCE SHALL SUBSTANTIALLY MATCH 5' HIGH FENCE PROVIDED BY CITY OF WEST HOLLYWOOD. CITY OF WEST HOLLYWOOD SHALL APPROVE PROPOSED FENCE PRIOR TO INSTALLATION. FOOTING PER SPPWC STD. PLAN 600-2 OR FENCE MANUFACTURER'S RECOMMENDATION. COLOR TO MATCH CITY-PROVIDED FENCING.
  9. MILL AND OVERLAY TOP 2" OF ASPHALT PAVEMENT TO MATCH EXISTING GRADES. CONTRACTOR SHALL COORDINATE WITH CITY OF WEST HOLLYWOOD TO DETERMINE AREAS WITHOUT SUITABLE EXISTING ASPHALT PAVEMENT AND PROVIDE FULL DEPTH SECTION IN SUCH AREAS PER DETAIL 1 ON SHEET C6.01.
  10. CONCRETE CURB AND GUTTER PER SPPWC STD. PLAN 120-2, A2-6 AND A2-8, CF=6".
  11. REPLACE CONCRETE SIDEWALK FROM PROPERTY BOUNDARY TO ROBERTSON BLVD. PER SPPWC STD. PLAN 113-2 FOR EXCAVATIONS MADE NORMAL TO CURB OR PROPERTY LINE.
  12. REDWOOD HEADER PER DETAIL 6 / SHEET C6.01.
  13. CONCRETE WHEEL STOP PER DETAIL 2 / SHEET C6.01.
  14. 5' HIGH ORNAMENTAL FENCE. CONTRACTOR SHALL OBTAIN 88 LF OF OWNER-FURNISHED CONTRACTOR-INSTALLED FENCE FROM CITY OF WEST HOLLYWOOD'S STORAGE AREA AND TRANSPORT TO PROJECT SITE. THIS FENCE SHALL BE CLEANED, REFURBISHED, PAINTED, AND INSTALLED ALONG ALLEY. 110 LF OF 5' HIGH FENCE ALONG NORTHEAST PORTION OF SITE SHALL SUBSTANTIALLY MATCH 5' HIGH FENCE PROVIDED BY CITY OF WEST HOLLYWOOD. CITY OF WEST HOLLYWOOD SHALL APPROVE PROPOSED FENCE PRIOR TO INSTALLATION. FOR ALL FENCING, FOOTING PER SPPWC STD. PLAN 600-2 OR FENCE MANUFACTURER'S RECOMMENDATION. COLOR TO MATCH CITY-PROVIDED FENCING. CONTRACTOR TO PROVIDE POSTS FOR CITY-PROVIDED FENCING.
  15. 2x2x2' PORTLAND CEMENT CONCRETE PAD FOR PAY STATION. TOP OF PAD TO BE SET 1" ABOVE ADJACENT PAVEMENT. COORDINATE WITH PAY STATION MANUFACTURER TO ASSURE ANCHOR BOLT AND ELECTRICAL CONDUIT LOCATIONS. CITY OF WEST HOLLYWOOD TO FURNISH AND INSTALL PAY STATION. PAY STATION BASIS OF DESIGN IS T2 SYSTEMS, LUKE II.
  16. 4" DIAMETER STEEL BOLLARD PER DETAIL 9 / SHEET C6.01.
  17. PULL BOX PER ELECTRICAL PLANS.
  18. LIGHTED RATE SIGN. CONTRACTOR DEFERRED SUBMITTAL. SIGN AND POLE BY SIGN FABRICATOR. ALL COMPONENTS, INCLUDING WIRING AND INSTALLATION WILL BE PROVIDED BY CONTRACTOR. RATE SIGN SHALL BE (1) DOUBLE-SIDED 48"W x 72"H x 3/8" CLEAR LEXAN RATE SIGN FACES, PAINTED AND LETTERED IN REVERSE, WITH SLIDES FOR RATES. VERIFY VERBIAGE WITH CITY OF WEST HOLLYWOOD. INSTALL ALUMINUM SIGN CABINET ON NEW MOUNTING POLE. INSTALL NEW LAMPS AND HOOK UP ELECTRICAL AT BASE OF MOUNTING POLE. PREP AND PAINT SIGN CABINET AND MOUNTING POLE WITH REFLEX BLUE COMMERCIAL GRADE PAINT. POLE SHALL EXTEND ALONG LENGTH OF SIGN (SIDE MOUNTED SIGN) WITH BOTTOM OF SIGN MOUNTED AT 80" ABOVE FINISHED GRADE. CONCRETE FOOTING SHALL BE PER DETAIL 1 / SHEET E601. SIGN LIGHTS SHALL BE LIGHT-EMITTING DIODE (LED).
  19. CITY PROVIDED BIKE RACK.
  20. 1" WATER SERVICE. COORDINATE WITH CITY OF WEST HOLLYWOOD PRIOR TO INSTALLATION.
  21. 2" DIAMETER IRRIGATION PIPING. COORDINATE WITH CITY OF WEST HOLLYWOOD PRIOR TO INSTALLATION.
  22. IRRIGATION CONTROLLER. COORDINATE WITH CITY OF WEST HOLLYWOOD PRIOR TO INSTALLATION.
  23. 2" BACKFLOW ASSEMBLY. BFP SHALL BE ZURN WILKINS 300AST SERIES. COORDINATE WITH CITY OF WEST HOLLYWOOD PRIOR TO INSTALLATION.
  24. 40"Wx12"Lx6"D PORTLAND CEMENT CONCRETE PAD FOR ELECTRIC METER SERVICE. REFER TO ELECTRICAL PLANS.
  25. 80 MIL BAMBOO BARRIER, 36" DEEP. CLEAR BAMBOO FROM SOIL INSIDE PROPERTY.



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SECTION 323119

DECORATIVE ORNAMENTAL STEEL FENCE

PART 1 – GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
1. Decorative ornamental galvanized metal tubular picket fence system.
  2. Contractor shall provide and install all decorative ornamental fencing, except for eighty-eight linear feet of 5'-0" high panels which shall be Owner Furnished-Contractor Installed (OFICI). Refer to drawings for additional information.
- B. Related Sections:
1. Division 31 Earthwork

1.3 REFERENCES

- A. American Society for Testing Materials:
1. A239 Practice for Locating the Thinnest Spot in a Zinc(Galvanized) Coating on Iron or Steel Articles
  2. A653/A653M Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process
  3. A1008/A1008M Specification for Steel, Sheet, Cold-Rolled, Carbon, Structural, High-Strength Low-Alloy, High-Strength Low-Alloy with Improved Formability, Solution Hardened, and Bake Hardenable
  4. A1011/A1011M Specification for Steel, Sheet and Strip, Hot-Rolled, Carbon, Structural, High-Strength Low-Alloy, High-Strength Low-Alloy with Improved Formability, and Ultra-High Strength
  5. B117 Practice for Operating Salt Spray (Fog) Apparatus
  6. D523 Test Method for Specular Gloss
  7. D714 Test Method for Evaluating Degree of Blistering of Paints
  8. D1654 Test Method for Evaluation of Painted or Coated Specimens Subjected to Corrosive Environments
  9. D2244 Practice for Calculation of Color Tolerances and Color Differences from Instrumentally Measured Color Coordinates
  10. D2794 Test Method for Resistance of Organic Coatings to the Effects of Rapid Deformation (Impact)
  11. D3359 Test Methods for Measuring Adhesion by Tape Test
  12. E4 Practices for Force Verification of Testing Machines
  13. F2814 Guide for Design and Construction of Ornamental Steel Picket Fence Systems for Security Purposes
  14. F2408 Standard Specification for Ornamental Fences Employing Galvanized Steel Tubular Pickets

1.4 SUBMITTALS

- A. Product Data: Manufactures information for each type of product indicated.
- B. Shop Drawings: Product elevations, sections, and details as necessary.

- C. Product Warranty: Pickets, Posts, and Rails standard limited warranty that ornamental fence system is free from defects in material and workmanship including cracking, peeling, blistering and corroding for a period of 15 years from the date of purchase.

#### 1.5 QUALITY ASSURANCE

- A. The contractor shall provide laborers and supervisors who are thoroughly familiar with the type of construction involved and the materials and techniques specified.
- B. Provide complete fence system and gates, with all components provided by a single manufacturer, including all panels, posts, gates, fittings and hardware.
- C. Manufacturer Qualifications: Company specializing in manufacturing of steel ornamental picket fence systems with a minimum of 5 years documented experience.

#### 1.6 PRODUCT HANDLING AND STORAGE

- A. Panels, posts, and accessories to be delivered to the project site assembled and coated. Upon receipt at the job site, all materials shall be checked to ensure that no damages occurred during shipping.
- B. Materials shall be handled and stored properly to protect against damage, weather, vandalism and theft.

### PART 2 – PRODUCTS

#### 2.1 GUARDSMAN® COMMERCIAL & INDUSTRIAL DECORATIVE ORNAMENTAL STEEL FENCE

- A. A. Approved manufacture: Merchants Metals® [www.merchantsmetals.com](http://www.merchantsmetals.com)
- B. Phone: (888) 260-1600 Fax: (888) 261-3600 [tech-info@merchantsmetals.com](mailto:tech-info@merchantsmetals.com)
- C. Products from other qualified manufacturers who have ten years or more experience manufacturing steel ornamental picket fencing will be considered by the architect as equal if approved in writing 10 days prior to biddings, and they meet all specifications for design, size, and gauge of metal parts and fabrication. Picket fences and gates must be obtained from a single source.
- D. Biasable fence system shall rack 45 degrees based on an 8' nominal panel if required.
- E. Style: Lafayette.
- E. Nominal height: 4'-0", 5'-0, or Custom as indicated per plans.
- F. Width: 8' nominal O.C. (actual 91-3/4" face to face of post) or Custom.
- G. Pickets: Industrial:
  - A: Galvanized steel tubular members manufactured per ASTM F2408, with a minimum yield strength of 45,000 psi. Minimum picket size: 1" square, 16 gauge with pickets spaced 4-7/8" on-center and 3-7/8" face to face of picket.
  - H. Rails: 1-3/8" x 1-1/2", 11 gauge galvanized steel "U" channel, shall conform to the requirements F2408 Sect 5.1.2 galvanized prior to forming, with a minimum yield strength of 50,000 psi., the steel shall be hot-dip galvanized to meet A653/A653M with a minimum zinc coating weight of 0.9 oz/ft<sup>2</sup>, Coating Designation G-90. Punched rails to receive pickets. Attach pickets to rails with industrial rivets. Attach rails to posts with brackets. Single top and bottom Rail.
- I. Posts: Galvanized square steel tubular members manufactured per ASTM F2408, having minimum yield strength of 45,000 psi.
- J. Finish: Manufactured in compliance with ASTM F2408 - Corrosion Resistance Salt Spray Test per ASTM B117, Impact Resistance per ASTM D2794, and Adhesion per ASTM D3359 Method B. All primary components shall receive a thorough cleaning and pre-treatment with a 10-step process: Hot

alkaline cleaner, clear water rinse, hot iron phosphate application, clear water rinse, reverse Osmosis rinse, dry off oven heat, zinc enriched powder primer coat at 2-4 mils., gel oven heat, Ultra polyester finish T.G.I.C. powder coat at 2-4 mils., and final curing oven.

Color: Green

- K. Owner Furnished-Contractor Installed fence panels shall be cleaned, patched, primed and painted to match new fence panels and posts.

## 2.2 ACCESSORIES

- A. Industrial drive rivets hold pickets to rails and rails to brackets. Rivets must have a sheer strength of 1,500 lbs. and a holding power of 1,100 lbs.
- B. Rail/Post Brackets:
  - 1. High Security Bracket is patented die cast zinc tamper-resistant and provides an added level of security. The bracket is securely bolted through the post and is fastened to the panel with two rivets which are driven through the bracket cover, bracket and rail. Spacers can be added between the bracket and post to accommodate grade elevations. Each spacer changes the angle by 7-1/2 degrees and adds 3/8 inch distance between posts. Spacers must be specified when the order is placed.
- C. Post Caps: Cast aluminum or malleable iron or formed steel manufactured to form a weather-tight closure. Cap style: Ball on all posts.
- D. Finial Tops for Pickets: Cast aluminum, attached to pickets by 1/4" rivet. All Finials extend 6" above rail. Top: Triad Spear.

## 2.3 SETTING MATERIALS

- A. Concrete: Minimum 28 day compressive strength of 3,000 psi.

## PART 3 EXECUTION

### 3.1 EXAMINATION

- A. Verify areas to receive fencing are completed to final grades and elevations.
- B. Property lines and legal boundaries of work to be clearly established by the general contractor or property owner.

### 3.2 FENCE INSTALLATION

- A. Install fence in accordance with site conditions and codes.
- B. Space posts uniformly at manufactures standard face to face of post dimension unless instructed otherwise.
- C. Set posts in concrete. Dig holes having a diameter 4 times the diameter of the post, and 6" deeper than the bottom of the post. Crown concrete at top to shed water.
- D. Attach brackets using 1/4" bolts with lock nuts. Attach panels and place tops on bracket. Rivet top to bracket in 2 places to assure security.

3.3 CLEANING

- A. Clean up debris and remove from the site.

END OF SECTION