

## **Appendix B**

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*Site Plans, Elevations, Renderings, and Landscaping Plan*





# 8555 SANTA MONICA

MIXED-USE DEVELOPMENT



**dfh**  
architects

**JOB TITLE:**  
PROJECT ARCHITECT  
8555 SANTA MONICA  
MIXED-USE DEVELOPMENT

**JOB ADDRESS:**  
8555 SANTA MONICA BLVD  
WEST HOLLYWOOD, CA 90068

COVER SHEET

REVISION	NO.

Date: MAY 15 2017  
Scale: As Indicated

By:  
Project No:

Page No:  
**A-0.00**  
OF -

BUILDING CODE INFORMATION

APPLICABLE CODES

PROJECT INFORMATION

2013 CALIFORNIA BUILDING CODE (BASED ON 2012 IBC)(CBC)
PROJECT ADDRESS: 8555 SANTA MONICA BLVD. WEST HOLLYWOOD, CA 90069
2013 CALIFORNIA MECHANICAL CODE (BASED ON 2012 IMC)
2013 CALIFORNIA PLUMBING CODE (BASED ON 2012 UPC)
2013 CALIFORNIA ELECTRICAL CODE (BASED ON 2011 NEC)
2013 CALIFORNIA GREEN BUILDING CODE (CALGreen)
2013 CALIFORNIA FIRE CODE (CFR)(BASED ON 2012 UFC, & 2012 IFC) LAWS AND REGULATION.
2013 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24 C.C.R.
2013 CALIFORNIA ENERGY CODE, TITLE 24, PART 6



PLANNING CODE INFORMATION

VICINITY MAP

ZONING

Residential Lot
Commercial Community Lot
RETRAKS- W/MC 18.10.000 Table 2-4

SHEET INDEX

Table with 4 columns: Sheet #, Sheet Title, and columns for various sheet types (COVER SHEET, PROJECT DATA, etc.) with checkboxes for inclusion.

TYPE OF CONSTRUCTION

BUILDING TYPE 1-B (FULLY SPRINKLERED - NFPA 13 PER 903.3.1.1903.3.1.2)
SUBTERANEAN PARKING: TYPE 1/A

PROGRAM FLOOR AREA

Table showing Floor Level, Program, and Area. Includes Basement Parking (11,250 SF) and FLOOR (01) Area CCI Lot (27,599 SF).

ARCHITECTURAL ABBREVIATIONS

Table mapping architectural abbreviations (e.g., CAB. Cabinet, M.C. Mechanical) to their full names. Includes sections for Architectural Symbols, Exterior Elevation, Building Section, Elevation Mark, Match Line, North Arrow, Property Line, and Break Line.

PROJECT DIRECTORY

APPLICANT/TOWNER:
SCOTTO CAPITAL LP
P.O.BOX 17119
B.WILLS CA 90209
T:323.863.9152
CONTACT: BEN SOROUHI

DFH ARCHITECTS:

1541 20th STREET SANTA MONICA, CA 90225
T: 310.310.4581
CONTACT: JAMES FISCHER

LANDUSE CONSULTANT:

SEYMOUR CONSULTING GROUP
2815 TOWNESBATE ROAD SUITE 140
WESTLAKE VILLAGE, CA 91361
T: 818-896-0283 OFFICE
CONTACT: JEFFREY A. SEYMOUR

LANDSCAPE ARCHITECT:

ORANGE STREET STUDIO
4949 HOLLYWOOD BLVD SUITE 220
LOS ANGELES, CALIFORNIA 90027
T: 323.663-4949
CONTACT: MICHAEL SCHNEIDER

CITY NOTES:

- 1. THE SANTA MONICA DRIVEWAY WILL BE RESTRICTED TO RIGHT-IN/RIGHT-OUT TURN ONLY.
2. THE DRIVEWAY ON LANE 15, ADJACENT WEST KNOLL, WILL BE RESTRICTED TO RIGHT-TURN ONLY DESIGN.
3. DRIVEWAY SHOULD INCLUDE SIGNAGE, MEDICINE AND STRIPING TO REFLECT THE RESTRICTION.
4. SEVERAL SERVICE TO 852' W & 852' WESTKNOLL DRIVE WILL BE MAINTAINED DURING CONSTRUCTION AND POST CONSTRUCTION.
5. ANY RESTAURANT OR FOOD SERVICE BUSINESS WILL NEED TO COMPLY WITH APPROPRIATE RESTAURANT WASTE REQUIREMENTS AND THEY WILL NEED TO BE A PART OF THE CITY OF WEST HOLLYWOOD FOOD WASTE PROGRAM.
6. COMMERCIAL EMPLOYEE (E) SPACES REQUIRED FOR OFFICE LOCATIONS PROVIDED BY THE CITY (FRANCHISED) WASTE WALKERS.
7. CONSTRUCTION VEHICLES MUST PARK OFF SITE DURING CONSTRUCTION.
8. THE PROJECT OWNER IS TO ADHERE TO COMPLY WITH THE NATIONAL POLLUTION AERIAL EMISSIONS SOURCE SYSTEM (PERS) FEMT REQUIREMENTS. A STANDARD OPERATING PROCEDURE FOR WASTE WALKER MUST BE PREPARED BY THE CONTRACTOR OR OWNER AND APPROVED BY THE CITY. ALSO FOR SITES WITH MORE THAN 1 ACRE OF DISTURBED AREA, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST BE PREPARED AND THE CONTRACTOR MUST PROVIDE EVIDENCE TO THE BUILDING AND SAFETY DIVISION THAT A NOTICE OF INTENT (NOI) HAS BEEN SUBMITTED TO THE APPROPRIATE STATE AGENCY.

ARCHITECTURAL SYMBOLS

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INCLUSIONARY HOUSING INCENTIVES REQUESTED

Table detailing inclusionary housing incentives, including 1. AN ADDITIONAL STORY, NOT TO EXCEED 10 FEET OF TOTAL PROJECT HEIGHT, and 2. TEN PERCENT REDUCTION IN THE MINIMUM PARK YARD SETBACK.

REQUIREMENTS

Table showing various requirements and calculations. Includes RAB ALLOWABLE DENSITY (12.974 SF/LOT), RAB PROPOSED AREA (Level 2: 1,779; Level 3: 8,026), and RAB ALLOWABLE HEIGHT (45'0" Affordable Housing Bonus).

REQUIREMENTS

REQUIREMENTS W.H.M.C. 18.28.040 18.22.050
\*Minimum Housing Parking Development shall be granted the following parking spaces requirements when required by the developer, in addition of those provided for all units in the development.

REQUIREMENTS

Table showing RAB ALLOWABLE HEIGHT (45'0" Affordable Housing Bonus) and RAB ALLOWABLE DENSITY (12.974 SF/LOT).

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NOT FOR CONSTRUCTION

JOB TITLE: SANTA MONICA & WEST KNOLL MIXED USE BUILDING
JOB ADDRESS: 8555 SANTA MONICA BLVD WEST HOLLYWOOD, CA 90069

SHEET TITLE

PROJECT DATA

ISSUED FOR

ER

JOB NO.

01020

DATE

MAY 15 2017

SCALE

A0.01

SHEET



WEST HOLLYWOOD GREEN BUILDING PROGRAM POINT SYSTEM

8555 Santa Monica Blvd. CATEGORY & POINTS AVAILABLE	GREEN DESIGN OR PRODUCT DESCRIPTION	POINTS REC'D	PAGE NUMBER ON PLANS/COMMENTS
<b>SITE LOCATION</b>			
Locate buildings close to existing services to reduce environmental impacts from transportation and fully utilize infrastructure. Preserve or restore existing natural resources or amenities on the site. Ensure that the building is equipped to support recycling, alternative transportation, water conservation and other operations components.			
1 to 3	G801 Preserve Existing Trees Over 8" Diameter (1 pt/tree; 3 pts max.)		
<b>Total Points Available</b>	<b>4</b>	<b>1</b>	<b>See Landscape Notes</b>
<b>NATURAL HEATING + COOLING</b>			
Reduce energy loads while maintaining comfort through passive design strategies. Increase interior comfort and health through adequate ventilation.			
5	G803 Plant Deciduous Canopy Trees (min. 36" box, planted in the ground) on Exposed West and/or South Elevations (1 pt/tree, 5 pts max.)		
5	G804 Provide Narrow Floor Plates (max. 50 ft. depth) and/or Courtyards to Enable Natural Ventilation	5	See dimensions on A2.01 & A2.02 for typical floor plans. Floor plates range from 30'-8" to 45'-6" <50' ✓
2	G805 Provide Operable Windows to Enable Natural Cross Ventilation (min. 20% of total window area)	2	See A3.01, A3.02 ✓
2	G806 Install Exterior Shading Devices on South- and/or West-facing	2	See renderings and elevations ✓
2	G807 Provide Ceiling Fans (1 pt for each 50% of units or floor area served; 2 points max.)	2	To be shown in reflected ceiling plans ✓
3	G808 Eliminate Air Conditioning (available only if points for narrow floor plates, operable windows, and exterior shading are incorporated)		
<b>Total Points Available</b>	<b>19</b>	<b>11</b>	
<b>FOUNDATION</b>			
Reduce resources used and encourage use of recycled-content materials.			
1	G809 Use Recycled-Content Base or Backfill Material	1	To be indicated in Civil and Structural Specifications ✓
3	G810 Incorporate Flyash or Slag Ash in Concrete (min. 15%)	3	To be indicated in Structural Specifications ✓
2	G811 Increase Flyash Percentage (1 pt for each additional 5%)	1	To be indicated in Structural Specifications
<b>Total Points Available</b>	<b>6</b>	<b>5</b>	
<b>STRUCTURAL FRAME</b>			
Reduce the amount of old growth sawn wood (wider than 3x and taller than 8x) used in framing; encourage ecologically sensitive forestry; and encourage alternate framing techniques.			
5	G812 Use Engineered Lumber or Steel for minimum of 80% of subfloors, sheathing, floor joists, beams, headers, and brusses, as applicable.	5	To be indicated in Structural Specifications ✓
2	G813 Use Engineered Vertical Wood Studs		
5	G814 Use FSC-Certified Wood for Framing (1 pt for every 10% of framing lumber; max. 5 pts)		
2	G815 Use Structural Insulated Panels (SIPs)		
<b>Total Points Available</b>	<b>14</b>	<b>5</b>	
<b>PLUMBING</b>			
Increase the water efficiency of plumbing fixtures and reduce energy used for water heating.			
1	G816 Insulate the full length of all hot water pipes.	1	To be indicated in Plumbing Specifications ✓
1	G817 Install Low-Flow Showerheads (< 2.5 gpm)	1	To be indicated in Plumbing Specifications ✓
1	G818 Install Water Efficient Kitchen & Bathroom Faucets (<2.5 gpm)	1	To be indicated in Plumbing Specifications ✓
1	G819 Install Water Efficient Toilets (Dual-flush or <1.3 gpf)	1	To be indicated in Plumbing Specifications ✓
2	G820 Install Water Efficient Urinals (1 pt for 0.5 gpf, 2pts for water-free)	2	To be indicated in Plumbing Specifications ✓
2	G821 Install Tankless Water Heaters	2	To be indicated in Plumbing Specifications ✓
<b>Total Points Available</b>	<b>8</b>	<b>8</b>	
<b>INSULATION</b>			
Reduce energy losses through the building envelope and improve occupant comfort. Promote better indoor air quality. Increase use of recycled content and rapidly renewable materials.			
1	G822 Install formaldehyde-free, recycled-content (min. 25%) insulation	1	To be indicated in Architectural Specifications ✓
2	G823 Install Cellulose, Cotton Batt, Bio-Based Foam in walls (min. 60% of insulation)		
2	G824 Install Cellulose, Cotton Batt, Bio-Based Foam in ceilings (min. 60% of insulation)		
<b>Total Points Available</b>	<b>5</b>	<b>1</b>	
<b>ENERGY EFFICIENCY + RENEWABLE ENERGY</b>			
Reduce climate change impacts of building operation by increasing overall building energy efficiency and generating renewable energy. Provide for the future installation of renewable energy systems.			
5	G825 Exceed Title 24 Energy Code by 5%	5	Title 24 Calculations will be provided ✓
15	G826 Exceed Title 24 Energy Code by More Than 5%. (1 pt for each additional 1% above 5% - max. 15 pts)	10	Title 24 Calculations will be provided
3	G827 Participate in Energy Star (residential) or Savings By Design (commercial) Programs	3	Title 24 Calculations will be provided ✓
1	G828 Pre-Plumb and Provide Conduit for Solar Water Heating	1	To be shown in final Electrical drawings ✓
2	G829 Install Solar Water Heating System for Domestic Hot Water		
2	G830 Install Solar Water Heating System for Pool Heating		
10	G831 Install Photovoltaic (PV) Panels (1 pt/kW - max. 10 pts)	7	To be indicated in Electrical Specifications ✓
3	G832 Install Energy Star Lighting (50% of total fixtures)	3	To be indicated in Electrical Specifications ✓
1	G833 Install Energy Star Exit Signs	1	To be indicated in Electrical Specifications ✓
1	G834 Install Energy Star Programmable Thermostats	1	To be indicated in Electrical Specifications ✓
1	G835 Install Timer or Photo Sensor for Exterior Lights	1	To be indicated in Electrical Specifications ✓
1	G836 Seal all Ducts with Mastic (residential) or install per SMACNA standards (commercial)	1	To be indicated in Electrical Specifications ✓
<b>Total Points Available</b>	<b>45</b>	<b>33</b>	
<b>INDOOR AIR QUALITY</b>			
Increase quality of indoor air by reducing exposure to toxic chemicals. Decrease concentration of toxins and dust through ventilation and filtration.			
2	G837 Use No-VOC Paints on Interior Applications (<= 5 g/l)	2	To be indicated in Architectural Specifications ✓
2	G838 Use Low-VOC Sealants and Adhesives (<= 50 g/l)	2	To be indicated in Architectural Specifications ✓
Use Composite Wood with No Added Urea Formaldehyde for Countertops and Cabinets			
2	G839		
1	G840 Use Carpet Certified by CR Green Label Program		
2	G841 Eliminate the Use of Carpet	2	To be indicated in Architectural Specifications ✓
2	G842 Vent Kitchen Range Hoods to the Outside (min. 80% of units)	2	To be noted on Mechanical drawings ✓
1	G843 Install Fan with Humidistat Sensor or Timer in all Bathrooms	1	To be indicated in Mechanical Specifications ✓
1	G844 Install High Efficiency HVAC Filters (min. MERV 8) or Provide Ductless System	1	To be indicated in Mechanical Specifications ✓
1	G845 Provide Daylighting for 50% of occupied spaces	1	Daylighting provided for the majority of all occupied spaces - See Architectural Elevations and plans- Sheets A2.01 through A3.02 ✓
<b>Total Points Available</b>	<b>14</b>	<b>11</b>	

ROOFING	GREEN DESIGN OR PRODUCT DESCRIPTION	POINTS REC'D	PAGE NUMBER ON PLANS
2	G846 Provide roofing materials that are durable, reduce resource use, minimize interior heat gain, provide storm water management, and reduce the urban heat island effect.		
2	G847 Use Recycled-Content Roofing Materials		
3	G848 Install Durable Roof with Long-Term Warranty or Demonstrated Long-Term Durability (40-yr warranty for asphalt shingles, 15-yr warranty for building roof, metal or clay tile)	3	To be indicated in Architectural Specifications
6	G849 Install Extensive Vegetated Green Roof (3 pt/each 50% of roof not occupied by mechanical equip. or access stain)	0	
8	G850 Install Intensive Vegetated Green Roof (4 pt/each 50% of roof not occupied by mechanical equip. or access stain)	3	
<b>Total Points Available</b>	<b>21</b>	<b>3</b>	
<b>EXTERIOR FINISH</b>			
Encourage durable materials that do not require frequent maintenance.			
3	G851 Use Durable Exterior Finishes (1 pt/30% of exterior area) including Integral-Color or Uncoated Unglazed Stucco, Fiber-Cement Panels or Siding, Metal Panels or Siding, Composite Wood Panel(Parklex), Glass, and other similar durable finishes.	3	All exterior finishes proposed are durable and include the following: Integral-Color Stucco, concrete, Parklex and glass. See A3.01 & A3.02 ✓
1	G852 Use Recycled-Content or FSC-Certified Outdoor Roofing Materials.	3	
<b>Total Points Available</b>	<b>4</b>	<b>3</b>	
<b>INTERIOR FINISH</b>			
Reduce the use of natural resources, use rapidly renewable materials, and encourage ecologically sensitive forestry.			
5	G853 Use Exposed Concrete as Finished Floor (pt/each 20%)	5	To be indicated in Architectural Specifications ✓
3	G854 Use Resource-Efficient Flooring or FSC-Certified Wood Flooring for All Wood Flooring (1pt/30% of floor area). Resource efficient includes rapidly renewable materials, recycled-content carpet or flooring tiles (min. 25% recycled content).		
3	G855 Use agriculture board, FSC certified, or rapidly renewable cabinetry	3	To be indicated in Architectural Specifications
1	G856 Use Recycled-Content Countertop Materials (min. 25% recycled content)	1	To be indicated in Architectural Specifications
<b>Total Points Available</b>	<b>12</b>	<b>9</b>	
<b>INNOVATIVE DESIGN</b>			
Allow for innovation in design, building systems, and materials. Add additional green design principles through innovative approaches.			
<b>Total Points</b>	<b>8</b>	<b>0</b>	
TBD, 8 points max.			
<b>TOTAL POINTS EARNED</b>		<b>90</b>	
<b>TOTAL POINTS AVAILABLE</b>	<b>160</b>	<b>60</b>	
<b>MANDATORY POINTS FOR COMPLIANCE</b>			
<b>POINTS NEEDED FOR INCENTIVES</b>			

MANDATORY POINTS	GREEN DESIGN OR PRODUCT DESCRIPTION	POINTS REC'D	PAGE NUMBER ON PLANS
0	G857 Provide Secure Bike Parking (1 space/7 employees or 10,000 sq. ft. or 1 space/ 4 dwelling units).	NA	See Sheet A2.00 Garage level plan
0	G858 Label Storm Drains Adjacent to the Property.	NA	See Sheet A1.00 Survey
New Code Requirements as part of Green Building Ordinance, effective October 1, 2007			
0	G859 Provide Roof Location and Install Conduit from Roof to Electrical Room for Future Photovoltaic System (PV) Installation.	NA	See sheet A2.04 - Roof area that is not used for common open space is constructed as green roof (2006). Some of this area can also be allocated to PV system but size and number of panels will be determined during CDs.
0	G860 Install Energy Star Appliances - Refrigerator, Washing Machine, Dishwasher.	NA	To be indicated in Architectural Specifications
0	G861 Provide Construction Air Quality Management Plan in Specs (of a minimum protect ducts during construction and change filters and vacuum ducts prior to occupancy).	NA	To be indicated in Architectural Specifications
0	G862 Use Low-VOC Interior Paints and Wood Finishes (<= 50 g/l Bat; <= 150 g/l non-flat).	NA	To be indicated in Architectural Specifications
0	G863 Provide owner or tenant with a Green Features/Benefits Manual.	NA	To be provided
0	G864 Provide Space for the Collection and Storage of Recyclables.	NA	See Sheet A1.10 site plan for trash and recycling storage location
0	G865 Provide preferential parking for alternative fuel vehicles (min. 2% of total spaces for commercial lots with more than 25 spaces).	NA	To be provided in final parking plans
0	G866 Divert Construction and Demolition Waste (min. of 80%).	NA	To be indicated in Architectural Specifications
0	G867 Provide Construction Site Storm Water Management Plan.	NA	To be shown in Civil drawings
0	G868 Provide Permeable Surfaces in Required Yards (55% of front and 50% of side).	NA	To be indicated in Landscape drawings
Existing Code Requirements for Green Building (if/ll applicable)			
0	G869 Use Infiltration, biotiltration or equivalent flow reduction treatment BMP for the runoff resulting from either the first 0.75 inches of rainfall or the runoff resulting from a continuous rainfall event of 0.2 inches per hour.	NA	To be shown in Civil drawings
0	G870 Use Drought Tolerant and Native Species for Landscaping.	NA	See Landscape sheets L1.00, L2.00, L3.00, L4.00
0	G871 Install Water-Efficient Irrigation System.	NA	To be shown in Landscape drawings
0	G872 Parking Landscaping for Surface Parking Areas - Projects must comply with all applicable requirements. See Section 19.28.100(B) on Parking Area Landscaping Requirements.	NA	NA
0	G873 Transportation Demand Management - Projects must comply with applicable requirements. See Chapter 10.16 on Transportation Demand Management.	NA	NA

NOT FOR CONSTRUCTION

JOB TITLE  
SANTA MONICA & WEST KNOLL  
MIXED USE BUILDING

JOB ADDRESS  
8555 SANTA MONICA BLVD  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
GREEN BUILDING POINTS

ISSUED FOR DEVELOPMENT PERMIT APPLICATION- RESUBMITTAL

JOB NO.  
01020

DATE  
MAY 15 2017

SCALE



SHEET **A0.02**





NOT FOR CONSTRUCTION

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
NORTHEAST VIEW

ISSUE FOR  
EIR

JOB NO.  
01020

DATE  
MAY 15 2017

SCALE

SHEET **A1.14**

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NOT FOR CONSTRUCTION

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
VIEW FROM NORTH

ISSUE FOR  
EIR

JOB NO.  
01020

DATE  
MAY 15 2017

SCALE

SHEET **A1.15**

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NOT FOR CONSTRUCTION

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
EAST FACADE VIEW

ISSUE FOR  
EIR

JOB NO.  
01020

DATE  
MAY 15 2017

SCALE

SHEET **A1.17**

These drawings are the property of the architect and shall remain confidential. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. The architect shall not be held responsible for any errors or omissions in these drawings. The architect shall not be held responsible for any delays or cancellations of these drawings. The architect shall not be held responsible for any damages or losses resulting from the use of these drawings. The architect shall not be held responsible for any claims or liabilities resulting from the use of these drawings. The architect shall not be held responsible for any claims or liabilities resulting from the use of these drawings. The architect shall not be held responsible for any claims or liabilities resulting from the use of these drawings.



NOT FOR CONSTRUCTION

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
WEST FACADE VIEW

ISSUE FOR  
EIR

JOB NO.  
01020

DATE  
MAY 15 2017

SCALE

SHEET **A1.18**

When developing a new project, all drawings and specifications are subject to change without notice. Changes shall not be made. Contractors shall verify all dimensions and conditions shown on these drawings. Shop notes must be submitted to the office for approval before proceeding with fabrication.





NOT FOR CONSTRUCTION

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
VIEW FROM  
NORTHWEST  
ISSUE FOR  
EIR

JOB NO.  
01020

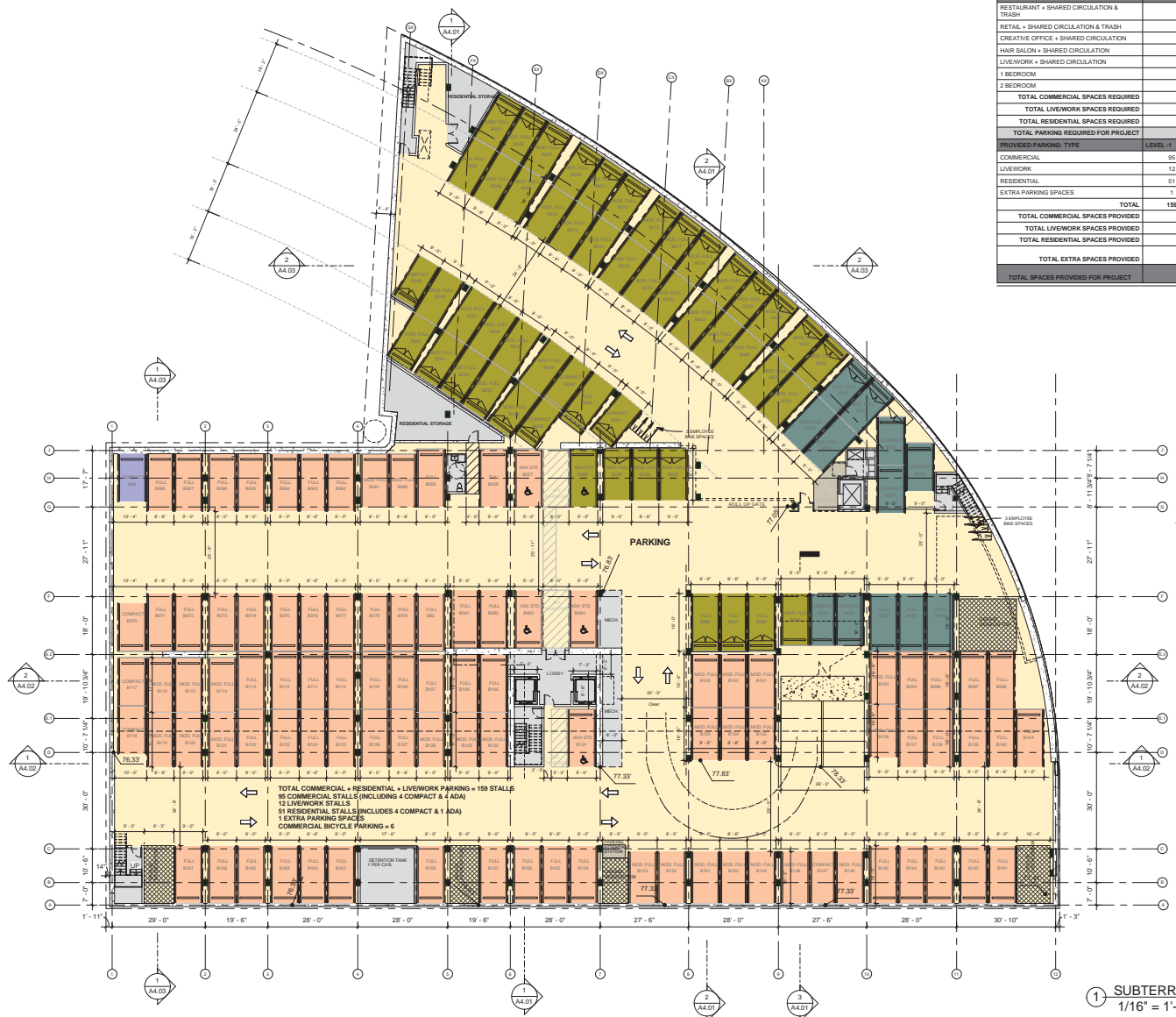
DATE  
MAY 15 2017

SCALE

SHEET

**A1.19**

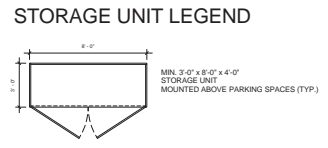
These drawings are the property of the architect and shall remain confidential. No part of these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. The architect shall not be held responsible for any errors or omissions in these drawings. The architect shall not be held responsible for any errors or omissions in these drawings. The architect shall not be held responsible for any errors or omissions in these drawings.



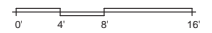
PROJECT PARKING REQUIREMENTS				
Program	AREA	RATIO/1000SF	TOTAL	
RESTAURANT + SHARED CIRCULATION & TRASH	2,933	9	26	
RETAIL + SHARED CIRCULATION & TRASH	16,308	3.5	57	
CREATIVE OFFICE + SHARED CIRCULATION	6,141	3.5	21	
HAIR SALON + SHARED CIRCULATION	3,796	5	19	
LIVE/WORK + SHARED CIRCULATION	16,844	3.5	59	
1 BEDROOM	40	1	40	
2 BEDROOM	57	2	114	
<b>TOTAL COMMERCIAL SPACES REQUIRED</b>			<b>123</b>	
<b>TOTAL LIVE/WORK SPACES REQUIRED</b>			<b>59</b>	
<b>TOTAL RESIDENTIAL SPACES REQUIRED</b>			<b>154</b>	
<b>TOTAL PARKING REQUIRED FOR PROJECT</b>			<b>336</b>	
PROVIDED PARKING TYPE	LEVEL -1	LEVEL 1	MEZZ LEVEL	TOTAL
COMMERCIAL	95	28	0	123
LIVE/WORK	12	47	0	59
RESIDENTIAL	51	0	103	154
EXTRA PARKING SPACES	1	0	0	1
<b>TOTAL</b>	<b>159</b>	<b>75</b>	<b>103</b>	<b>337</b>
<b>TOTAL COMMERCIAL SPACES PROVIDED</b>				<b>123</b>
<b>TOTAL LIVE/WORK SPACES PROVIDED</b>				<b>59</b>
<b>TOTAL RESIDENTIAL SPACES PROVIDED</b>				<b>154</b>
<b>TOTAL EXTRA SPACES PROVIDED</b>				<b>1</b>
<b>TOTAL SPACES PROVIDED FOR PROJECT</b>				<b>337</b>

**PARKING LEGEND**

- EXTRA PARKING STALL
- LIVE/WORK PARKING STALL
- COMMERCIAL PARKING STALL
- RESIDENTIAL PARKING STALL



1 SUBTERRANEAN PARKING  
1/16" = 1'-0"



**NOT FOR CONSTRUCTION**

**JOB TITLE**  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

**JOB ADDRESS**  
WEST HOLLYWOOD, CA 90069

**SHEET TITLE**  
SUBTERRANEAN  
PARKING  
ISSUE FOR  
EIR

**JOB NO.**  
01020

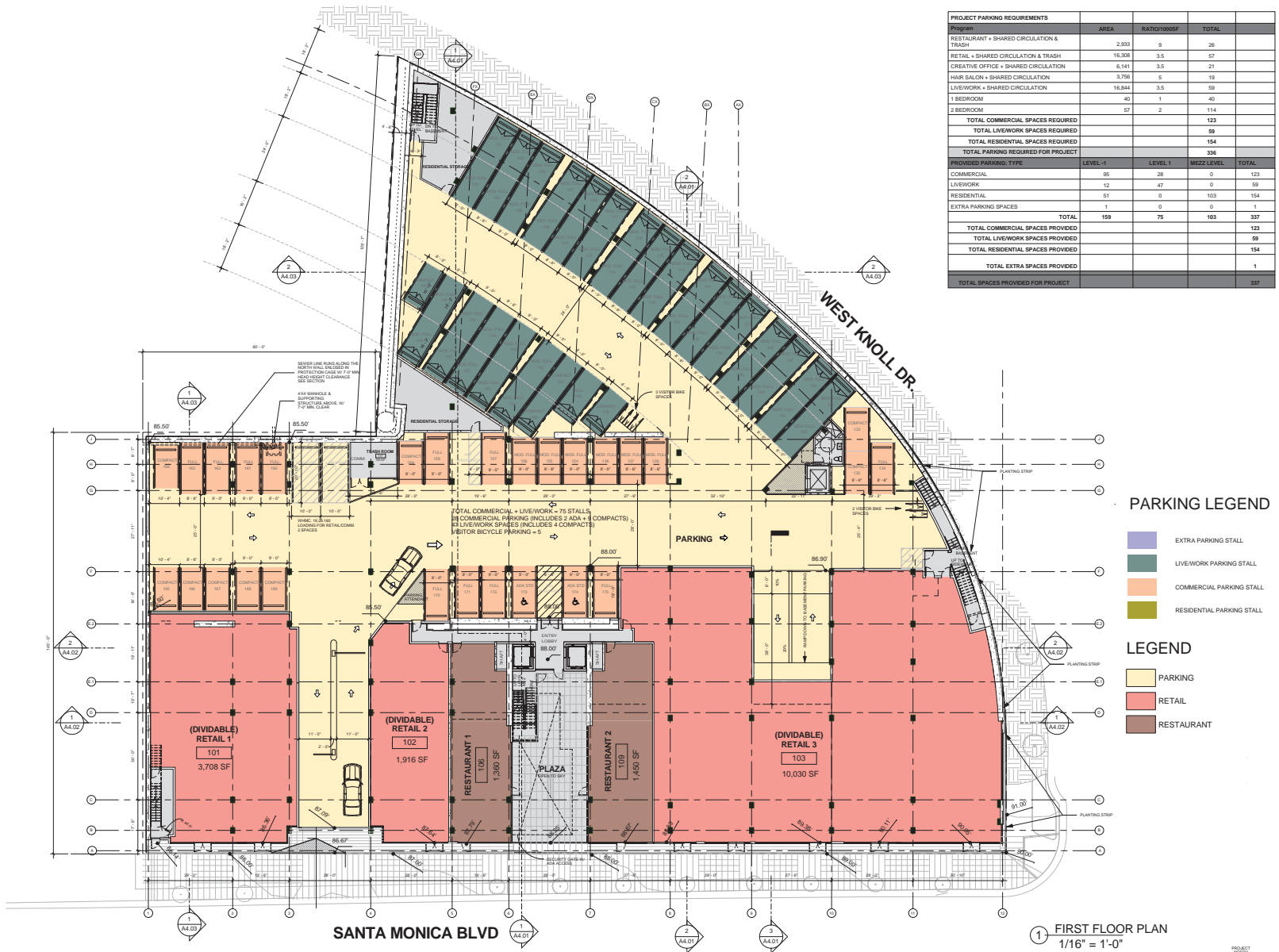
**DATE**  
MAY 15 2017

**SCALE**  
As indicated

**SHEET**  
**A2.00**

When dimensions are shown in feet and inches, the decimal equivalent shall be used. Dimensions shall not be scaled. Contractors shall verify and be responsible for all dimensions and conditions shown on these drawings. These drawings shall be submitted to the City for approval before proceeding with fabrication.





PROJECT PARKING REQUIREMENTS				
Program	AREA	RATIO/1000SF	TOTAL	
RESTAURANT + SHARED CIRCULATION & TRASH	2,933	9	26	
RETAIL + SHARED CIRCULATION & TRASH	16,309	3.5	57	
CREATIVE OFFICE + SHARED CIRCULATION	6,141	3.5	21	
HAIR SALON + SHARED CIRCULATION	3,759	5	19	
LIVE/WORK + SHARED CIRCULATION	16,844	3.5	59	
1 BEDROOM	45	1	45	
2 BEDROOM	57	2	114	
<b>TOTAL COMMERCIAL SPACES REQUIRED</b>			<b>123</b>	
<b>TOTAL LIVE/WORK SPACES REQUIRED</b>			<b>59</b>	
<b>TOTAL RESIDENTIAL SPACES REQUIRED</b>			<b>154</b>	
<b>TOTAL PARKING REQUIRED FOR PROJECT</b>			<b>336</b>	
PROVIDED PARKING TYPE	LEVEL -1	LEVEL 1	MEZ LEVEL	TOTAL
COMMERCIAL	95	29	0	123
LIVE/WORK	12	47	0	59
RESIDENTIAL	51	0	103	154
EXTRA PARKING SPACES	1	0	0	1
<b>TOTAL</b>	<b>159</b>	<b>75</b>	<b>103</b>	<b>337</b>
<b>TOTAL COMMERCIAL SPACES PROVIDED</b>				<b>123</b>
<b>TOTAL LIVE/WORK SPACES PROVIDED</b>				<b>59</b>
<b>TOTAL RESIDENTIAL SPACES PROVIDED</b>				<b>154</b>
<b>TOTAL EXTRA SPACES PROVIDED</b>				<b>1</b>
<b>TOTAL SPACES PROVIDED FOR PROJECT</b>				<b>337</b>

**PARKING LEGEND**

- EXTRA PARKING STALL
- LIVE/WORK PARKING STALL
- COMMERCIAL PARKING STALL
- RESIDENTIAL PARKING STALL

**LEGEND**

- PARKING
- RETAIL
- RESTAURANT

NOT FOR CONSTRUCTION

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
FIRST FLOOR PLAN

ISSUE FOR  
EIR

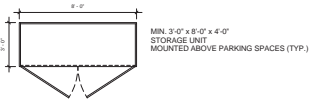
JOB NO.  
01020

DATE  
MAY 15 2017

SCALE  
As indicated

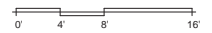
SHEET **A2.01**

**STORAGE UNIT LEGEND**

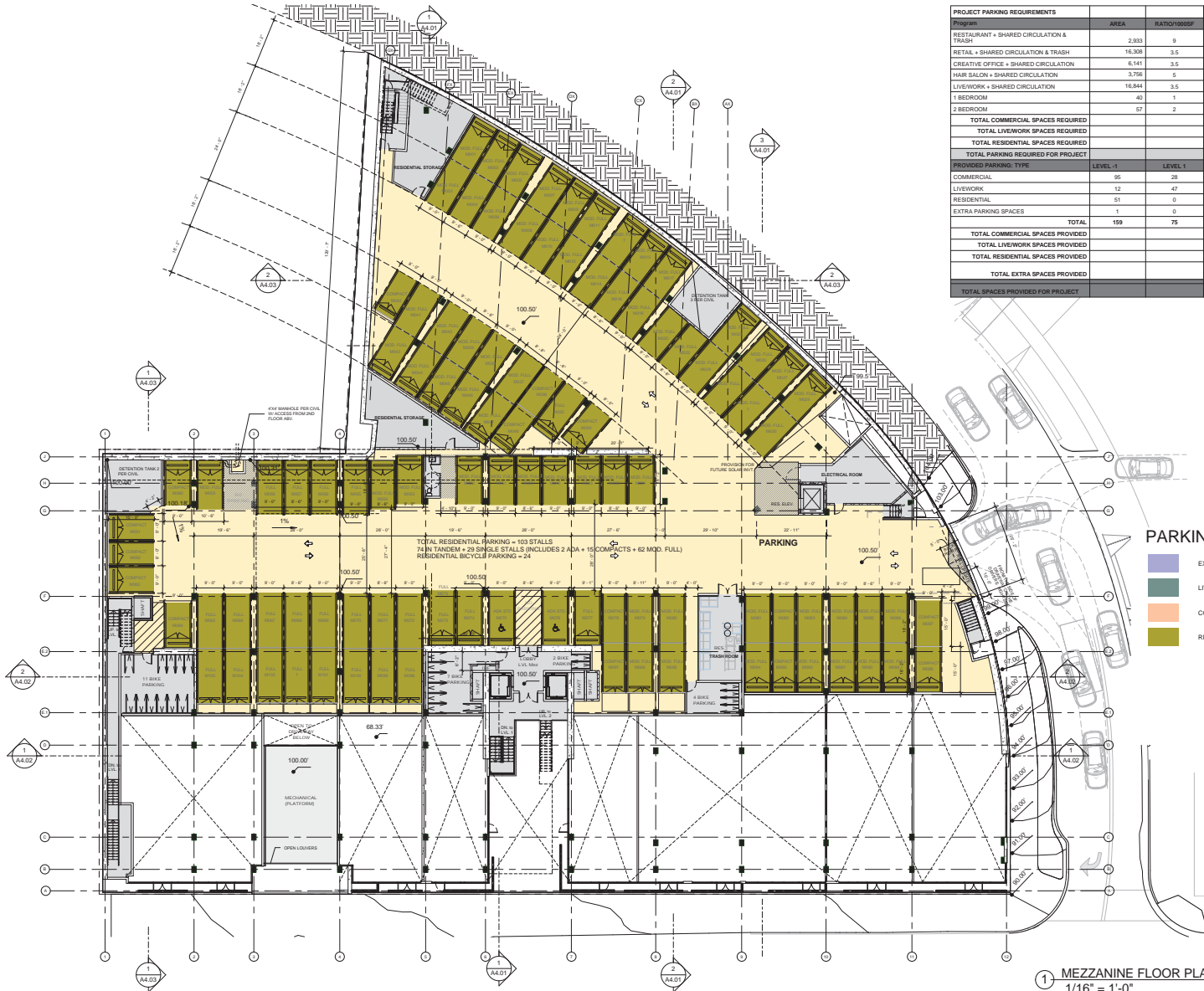


AREA NOT INCLUDED IN FAR	PARKING LEVEL 1 (NOT INCLUDED IN FAR)	27,595
<b>FLOOR AREA INCLUDED IN FAR</b>	RESTAURANT	2,933
	RETAIL	15,678
	SHOWER/LOCKER	130
	COMMERCIAL WASTE / RECYCLING	192
	COMMERCIAL CIRCULATION (INCLUDES STAIRS, ELEVATORS, CORR.)	834
	<b>TOTAL INCLUDED IN FAR CALC. (CICI LOT)</b>	<b>19,864</b>
	RESIDENTIAL STORAGE NOT INCLUDED IN FAR CALC. (R4B LOT)	1,049

1 FIRST FLOOR PLAN  
1/16" = 1'-0"



When developed in accordance with the California Building Code, this drawing shall not be used for any other purpose. The user assumes all responsibility for any errors and omissions. Original shall not be copied, reproduced, or otherwise used without the express written consent of the architect. All dimensions and quantities shown on this drawing shall be subject to the architect's approval before proceeding with fabrication.



PROJECT PARKING REQUIREMENTS				
Program	AREA	RATIO/1000SF	TOTAL	
RESTAURANT + SHARED CIRCULATION & TRASH	2,883	9	26	
RETAIL + SHARED CIRCULATION & TRASH	16,308	3.5	57	
CREATIVE OFFICE + SHARED CIRCULATION	6,141	3.5	21	
HAIR SALON + SHARED CIRCULATION	3,759	5	19	
LIVELIWORK + SHARED CIRCULATION	16,844	3.5	59	
1 BEDROOM	43	1	43	
2 BEDROOM	57	2	114	
<b>TOTAL COMMERCIAL SPACES REQUIRED</b>			<b>123</b>	
<b>TOTAL LIVELIWORK SPACES REQUIRED</b>			<b>59</b>	
<b>TOTAL RESIDENTIAL SPACES REQUIRED</b>			<b>154</b>	
<b>TOTAL PARKING REQUIRED FOR PROJECT</b>			<b>336</b>	
PROVIDED PARKING TYPE				
	LEVEL -1	LEVEL 1	MEZ LEVEL	TOTAL
COMMERCIAL	95	28	0	123
LIVELIWORK	12	47	0	59
RESIDENTIAL	51	0	103	154
EXTRA PARKING SPACES	1	0	0	1
<b>TOTAL</b>	<b>159</b>	<b>75</b>	<b>103</b>	<b>337</b>
<b>TOTAL COMMERCIAL SPACES PROVIDED</b>				<b>123</b>
<b>TOTAL LIVELIWORK SPACES PROVIDED</b>				<b>59</b>
<b>TOTAL RESIDENTIAL SPACES PROVIDED</b>				<b>154</b>
<b>TOTAL EXTRA SPACES PROVIDED</b>				<b>1</b>
<b>TOTAL SPACES PROVIDED FOR PROJECT</b>				<b>337</b>

- PARKING LEGEND**
- EXTRA PARKING STALL
  - LIVELIWORK PARKING STALL
  - COMMERCIAL PARKING STALL
  - RESIDENTIAL PARKING STALL

NOT FOR CONSTRUCTION

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
MEZZANINE PARKING  
FLOOR PLAN  
ISSUE FOR  
EIR

JOB NO.  
01020

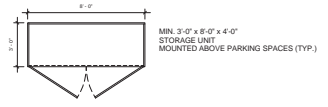
DATE  
MAY 15 2017

SCALE  
As indicated

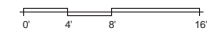
SHEET **A2.01-5**

1 MEZZANINE FLOOR PLAN  
1/16" = 1'-0"

**STORAGE UNIT LEGEND**



AREA NOT INCLUDED IN FAR	PARKING LEVEL 1.5 (NOT INCLUDED IN FAR)	
		30,268
	RESIDENTIAL ELECTRICAL	551
	RESIDENTIAL TRASH/RECYCLING AREA	384
	COMMERCIAL ELECTRICAL	100
	<b>TOTAL INCLUDED IN FAR CALC. (CCI LOT)</b>	<b>1,285</b>
	RESIDENTIAL STORAGE NOT INCLUDED IN FAR CALC. (RAB LOT)	1,039



Notes: Dimensions are shown in feet and inches. All dimensions and conditions shown on these drawings, including those not explicitly stated, shall be subject to the office approval before proceeding with construction.





OPEN SPACE (SHARED)	
ADDITIONAL OPEN SPACE	
OPEN SPACE 1	453 SF level 2
OPEN SPACE 2	529 SF level 2
OPEN SPACE 3	1503 SF level 2
COMMON OPEN SPACE - AREA OPEN TO DR 'W' (11.14x14)	2785 SF
COMMON OPEN SPACE 1	1185 SF level 2
COMMON OPEN SPACE 2	815 SF level 2
	2000 SF

\*INCLUDES AREA THAT DOES NOT MEET BOTH REQUIREMENTS OF SECTION 10.0 TO GET REDUCED 10%

NET AREA - LEVEL 2	
CC1	
(DIVIDABLE) OFFICE	206 2425 SF
(DIVIDABLE) OFFICE	223 3633 SF
HAIR SALON	207 3681 SF
LIVE/WORK 1	201 1856 SF
LIVE/WORK 2	202 1016 SF
LIVE/WORK 3	218 1594 SF
LIVE/WORK 4	219 1939 SF
LIVE/WORK 5	208 750 SF
LIVE/WORK 6	209 1664 SF
LIVE/WORK 7	210 1419 SF
LIVE/WORK 8	211 262 SF
LIVE/WORK 9	212 1154 SF
LIVE/WORK 10	213 1350 SF
LIVE/WORK 11	214 928 SF
LIVE/WORK 12	215 1243 SF
RECREATION ROOM	216 600 SF
RESIDENTIAL LOBBY	217 628 SF
	27141 SF
R4B	
2-BEDROOM	218 1180 SF
2-BEDROOM	219 1117 SF
2-BEDROOM	220 1113 SF
2-BEDROOM	221 1213 SF
2-BEDROOM	222 1018 SF
	5541 SF
PRIVATE O.S.	145 SF

- LEGEND**
- COMMON OPEN SPACE
  - ADDITIONAL OPEN SPACE
  - COMMON AREAS
  - HAIR SALON
  - OFFICE
  - LIVE/WORK
  - RESIDENTIAL
  - PRIVATE OPEN SPACE
  - ACCESS

① LEVEL 2  
1/16" = 1'-0"

FLOOR AREA INCLUDED IN FAR	CREATIVE OFFICE	6,079
	LIVE/WORK	16,673
	HAIR SALON	3,718
	RESIDENTIAL RECREATION ROOM	610
	RES.COMM. CIRC. (SHARED INCLUDES STAIRS, ELEVATORS)	284
	RESIDENTIAL LOBBY	639
	RESIDENTIAL CIRCULATION (INCLUDES ELEVATORS, TRASH)	124
	<b>TOTAL INCLUDED IN FAR CALC. (CC1 LOT)</b>	<b>28,127</b>
	RESIDENTIAL NOT INCLUDED IN FAR CALC. ( R4B LOT)	5,729

**NOT FOR CONSTRUCTION**

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
2ND LEVEL PLAN

ISSUE FOR  
EIR

JOB NO.  
01020

DATE  
MAY 15 2017

SCALE  
As indicated

SHEET **A2.02**

When developed, the user shall verify the accuracy of the information provided. The user shall be responsible for any errors or omissions. The user shall be responsible for any errors or omissions. The user shall be responsible for any errors or omissions. The user shall be responsible for any errors or omissions.



**NET AREA - LEVEL 3**

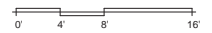
CC1		PRIVATE O.S.	
2BEDROOM	301	872 SF	870 SF
1BEDROOM	302	821 SF	130 SF
1BEDROOM	303	810 SF	123 SF
1BEDROOM	304	821 SF	128 SF
1BEDROOM	305	821 SF	130 SF
2BEDROOM	306	924 SF	148 SF
2BEDROOM	307	893 SF	148 SF
1BEDROOM	308	819 SF	132 SF
2BEDROOM	309	879 SF	128 SF
2BEDROOM	310	1880 SF	1151 SF
2BEDROOM	311	1118 SF	188 SF
2BEDROOM	312	1043 SF	139 SF
2BEDROOM	313	969 SF	139 SF
1BEDROOM	314	718 SF	121 SF
1BEDROOM	315	814 SF	121 SF
1BEDROOM	316	770 SF	120 SF
1BEDROOM	317	870 SF	238 SF
1BEDROOM	318	562 SF	132 SF
1BEDROOM	319	560 SF	123 SF
2BEDROOM	320	889 SF	128 SF
2BEDROOM	321	992 SF	129 SF
2BEDROOM	322	997 SF	130 SF
2BEDROOM	323	997 SF	130 SF
2BEDROOM	324	883 SF	126 SF
2BEDROOM	325	886 SF	131 SF
2BEDROOM	326	888 SF	132 SF
2BEDROOM	327	888 SF	133 SF
1BEDROOM	328	1102 SF	340 SF
R4B		2004 SF	981 SF
R4B			
2BEDROOM	329	1212 SF	226 SF
2BEDROOM	330	1124 SF	139 SF
2BEDROOM	331	1146 SF	120 SF
2BEDROOM	332	1231 SF	141 SF
2BEDROOM	333	1031 SF	136 SF
		5750 SF	760 SF

**LEGEND**

<span style="color: blue;">■</span>	RESIDENTIAL
<span style="color: green;">■</span>	PRIVATE OPEN SPACE
<span style="color: grey;">■</span>	ACCESS

① 3RD PLAN  
1/16" = 1'-0"

FLOOR AREA INCLUDED IN FAR	RESIDENTIAL UNITS (12 ONE BEDROOM & 21 TWO BEDROOM UNITS)	25,599
	RESIDENTIAL CIRCULATION (INCLUDES STAIRS, ELEV., TRASH)	408
	<b>TOTAL INCLUDED IN FAR CALC. (CC1 LOT)</b>	<b>26,007</b>
	RESIDENTIAL NOT INCLUDED IN FAR CALC. ( R4B LOT)	5,826



NOT FOR CONSTRUCTION

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
3RD LEVEL PLAN

ISSUE FOR  
EIR

JOB NO.  
10120

DATE  
MAY 15 2017

SCALE  
As indicated

SHEET **A2.03**

When development is approved, the applicant shall submit a final construction plan to the City of Los Angeles for review and approval. Changes shall not be made. Construction shall comply with all applicable laws, codes, and regulations. All dimensions and quantities shown on this drawing shall be as indicated. It is the responsibility of the applicant to verify all dimensions and quantities shown on this drawing. The applicant shall be responsible for obtaining all necessary permits and approvals for construction.





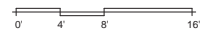
NET AREA - LEVEL 4		
CC1	PRIVATE O.S.	
2BEDROOM	401	832 SF
1BEDROOM	402	794 SF
1BEDROOM	403	762 SF
1BEDROOM	404	794 SF
1BEDROOM	405	794 SF
2BEDROOM	406	840 SF
2BEDROOM	407	860 SF
1BEDROOM	408	794 SF
2BEDROOM	409	858 SF
2BEDROOM	410	1770 SF
2BEDROOM	411	1080 SF
2BEDROOM	412	1042 SF
2BEDROOM	413	969 SF
1BEDROOM	414	778 SF
2BEDROOM	415	1381 SF
1BEDROOM	416	615 SF
1BEDROOM	417	582 SF
1BEDROOM	418	560 SF
1BEDROOM	419	750 SF
1BEDROOM	420	749 SF
2BEDROOM	421	890 SF
2BEDROOM	422	891 SF
2BEDROOM	423	886 SF
1BEDROOM	424	675 SF
1BEDROOM	425	675 SF
1BEDROOM	426	678 SF
1BEDROOM	427	806 SF
1BEDROOM	428	1259 SF
1BEDROOM	429	1184 SF
2BEDROOM	430	749 SF
2BEDROOM	431	1293 SF
1BEDROOM	432	806 SF
R4B		23045 SF
R4B		4948 SF
2BEDROOM	428	1259 SF
2BEDROOM	429	1184 SF
2BEDROOM	430	1159 SF
2BEDROOM	431	1293 SF
2BEDROOM	432	806 SF
2BEDROOM	433	9919 SF
2BEDROOM	434	734 SF

**LEGEND**

- RESIDENTIAL
- PRIVATE OPEN SPACE
- ACCESS

① **FOURTH FLOOR PLAN**  
1/16" = 1'-0"

FLOOR AREA INCLUDED IN FAR	RESIDENTIAL UNITS (15 ONE BEDROOM & 17 TWO BEDROOM UNITS)	23,556
	RESIDENTIAL CIRCULATION (INCLUDES STAIRS, ELEV., CORR., TRASH)	408
	TOTAL INCLUDED IN FAR CALC. (CC1 LDT)	24,003
	RESIDENTIAL NOT INCLUDED IN FAR CALC. ( R4B LOT)	6,058



NOT FOR CONSTRUCTION

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
4TH LEVEL PLAN

ISSUE FOR  
EIR

JOB NO.  
01020

DATE  
MAY 15 2017

SCALE  
As indicated

SHEET **A2.04**

When development is approved, the applicant shall submit a final construction plan to the City of Los Angeles for review and approval. Changes shall not be made. Construction shall comply with all applicable laws, rules, regulations, codes, and standards. The applicant shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies. The applicant shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies. The applicant shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies.



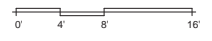
NET AREA - LEVEL 5			
			PRIVATE O.S.
<b>CC1</b>			
2BEDROOM	501	981 SF	677 SF
2BEDROOM	502	938 SF	629 SF
2BEDROOM	503	965 SF	665 SF
1BEDROOM	504	498 SF	351 SF
1BEDROOM	505	460 SF	332 SF
1BEDROOM	506	445 SF	328 SF
2BEDROOM	507	1696 SF	1235 SF
2BEDROOM	508	1045 SF	141 SF
2BEDROOM	509	970 SF	138 SF
1BEDROOM	510	728 SF	136 SF
2BEDROOM	511	1433 SF	121 SF
1BEDROOM	512	615 SF	158 SF
1BEDROOM	513	582 SF	132 SF
1BEDROOM	514	960 SF	123 SF
1BEDROOM	515	745 SF	138 SF
1BEDROOM	516	662 SF	124 SF
2BEDROOM	517	789 SF	157 SF
2BEDROOM	518	789 SF	156 SF
2BEDROOM	519	789 SF	160 SF
1BEDROOM	520	618 SF	128 SF
1BEDROOM	521	618 SF	128 SF
1BEDROOM	522	618 SF	128 SF
1BEDROOM	523	728 SF	225 SF
		18384 SF	6570 SF
<b>R4B</b>			
2BEDROOM	524	1173 SF	346 SF
2BEDROOM	525	1038 SF	229 SF
2BEDROOM	526	1163 SF	161 SF
2BEDROOM	527	1722 SF	728 SF
		5096 SF	1461 SF

**LEGEND**

<span style="color: blue;">■</span>	RESIDENTIAL
<span style="color: green;">■</span>	PRIVATE OPEN SPACE
<span style="color: grey;">■</span>	ACCESS

① FIFTH FLOOR PLAN  
1/16" = 1'-0"

FLOOR AREA INCLUDED IN FAR	RESIDENTIAL UNITS (13 ONE BEDROOM & 14 TWO BEDROOM UNITS)	18,825
	RESIDENTIAL CIRCULATION (INCLUDES STAIRS, ELEV., CORR., TRASH)	408
	TOTAL INCLUDED IN FAR CALC. (CC1 LOT)	19,233
	RESIDENTIAL NOT INCLUDED IN FAR CALC. ( R4B LOT)	5,177



NOT FOR CONSTRUCTION

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
5TH LEVEL PLAN

ISSUE FOR  
EIR

JOB NO.  
01020

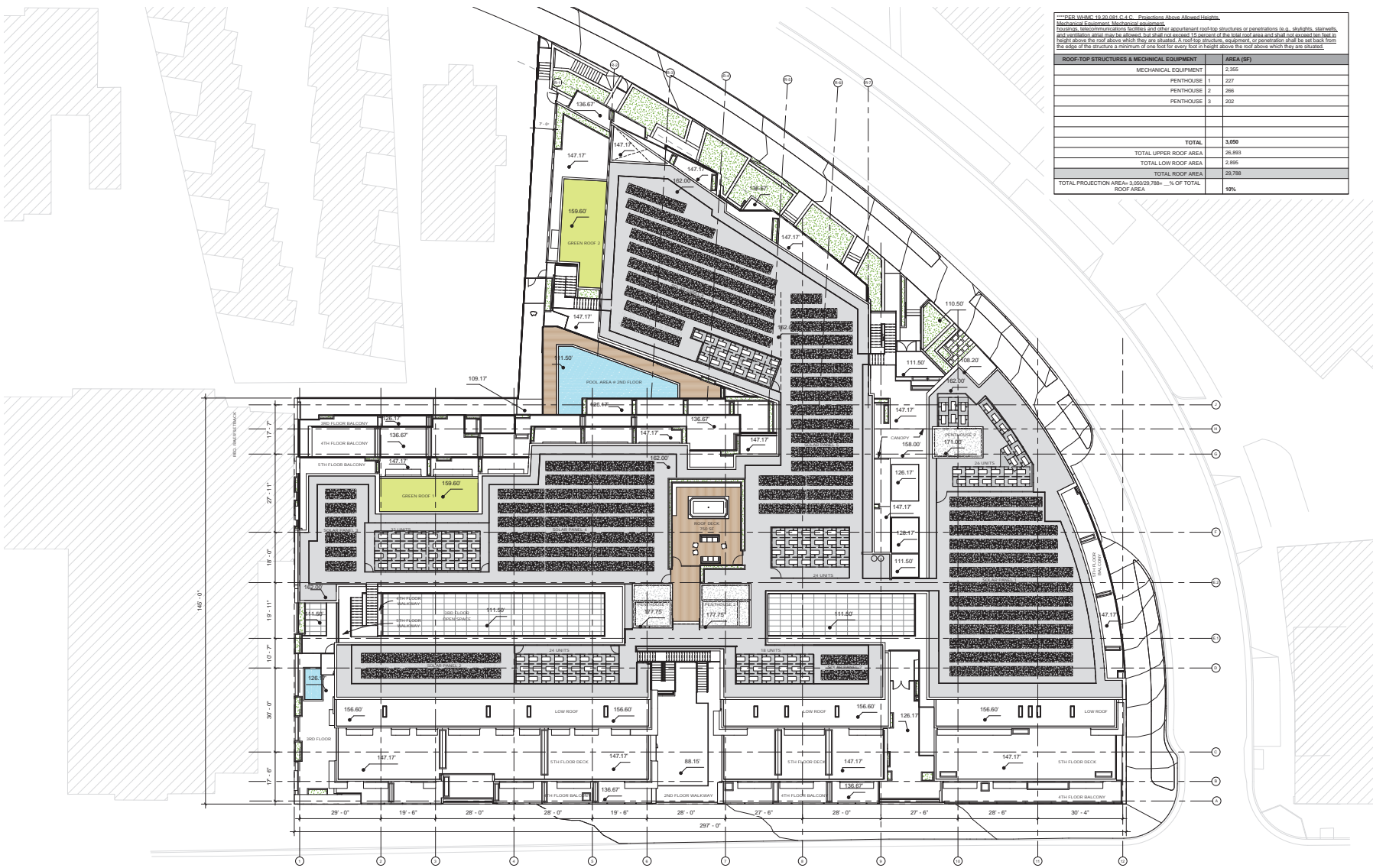
DATE  
MAY 15 2017

SCALE  
As indicated

SHEET **A2.05**

When dimensions are given in feet and inches, the fractional part shall be rounded to the nearest 1/8". Dimensions shall not be used for construction. All dimensions shall be taken from the project drawings. The contractor shall be responsible for all dimensions and conditions shown on these drawings. The contractor shall be responsible for all dimensions and conditions shown on these drawings. The contractor shall be responsible for all dimensions and conditions shown on these drawings.

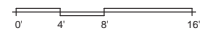




\*\*\*PER SECTION 16.03 OF C.C.P. - Projections above adjacent heights. Mechanical Equipment, Mechanical equipment. Overhead mechanical equipment, lighting and other appurtenant roof structures or projections (e.g., skylight, airvents, and antennas) shall be allowed, but shall not exceed 15 percent of the total roof area and shall not exceed ten feet in height above the roof above which they are located. A topographic equipment or projection shall be set back from the edge of the structure a minimum of one foot for every foot in height above the roof above which they are located.

ROOF-TOP STRUCTURES & MECHANICAL EQUIPMENT	AREA (SF)
MECHANICAL EQUIPMENT	2,355
PENTHOUSE 1	227
PENTHOUSE 2	266
PENTHOUSE 3	292
<b>TOTAL</b>	<b>3,059</b>
TOTAL UPPER ROOF AREA	26,893
TOTAL LOW ROOF AREA	2,355
<b>TOTAL ROOF AREA</b>	<b>29,248</b>
TOTAL PROJECTION AREA= 3,059/29,248= 10% OF TOTAL ROOF AREA	10%

1 ROOF PLAN  
1/16" = 1'-0"



NOT FOR CONSTRUCTION

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
ROOF PLAN

ISSUE FOR  
EIR

JOB NO.  
01020

DATE  
MAY 15 2017

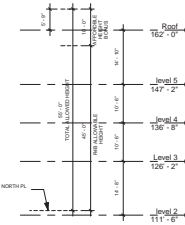
SCALE  
As indicated

SHEET **A2.06**

When documents are used for purposes other than those intended, the user assumes all responsibility for any errors and omissions. Changes shall not be made. Conditions shall apply, including those stated on drawings and conditions shown on these drawings. This sheet shall be submitted to the office for approval before printing, with this date.

MATERIAL KEYNOTE

1. SMOOTH CONCRETE
2. SMOOTH TROWELLED INTEGRAL PLASTER COLOR: WHITE
3. SMOOTH TROWELLED INTEGRAL PLASTER COLOR: GREY
4. TEXTURED CONCRETE
5. PAINTED CORRUGATE METAL PANEL
6. PHENOLIC COMPOSITE EXTERIOR WALL PANEL W/ WOOD EFFECT
7. RAILING SLATS
8. ANODIZED ALUMINUM METAL FRAME
9. PAINTED MESH PANEL
10. STOREFRONT GLAZING SYSTEM
11. CLEAR GLASS
12. METAL LOUVERS
13. SPANDREL GLASS
14. CUSTOMIZED PERFORATED METAL PANEL
15. GLASS RAILING
16. FALL PROTECTION RAILING
17. MESH SCREEN FOR MECHANICAL ENCLOSURES
18. ALUMINUM SUNSHADE ABOVE WINDOW
19. TRANSLUCENT GLASS

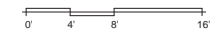
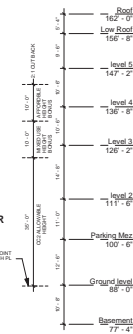


② NORTH ELEVATION  
1/16" = 1'-0"



LINE OF SIDEWALK @  
SANTA MONICA BLVD

① SOUTH ELEVATION  
1/16" = 1'-0"



NOT FOR CONSTRUCTION

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
BUILDING  
ELEVATIONS  
ISSUE FOR  
EIR

JOB NO.  
01020

DATE  
MAY 15 2017

SCALE 1/16" = 1'-0"

SHEET **A3.01**

When developing a new project, the architect shall provide a professional seal and signature. The architect shall not be held responsible for any errors or omissions. Construction shall verify and be responsible for all dimensions and conditions shown on these drawings. These drawings shall be submitted to the city for approval before proceeding with fabrication.



- MATERIAL KEYNOTE

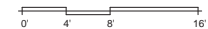
1. SMOOTH CONCRETE
2. SMOOTH TROWELLED INTEGRAL PLASTER COLOR: WHITE
3. SMOOTH TROWELLED INTEGRAL PLASTER COLOR: GREY
4. TEXTURED CONCRETE
5. PAINTED CORRUGATE METAL PANEL
6. PHENOLIC COMPOSITE EXTERIOR WALL PANEL W/ WOOD EFFECT
7. RAILING SLATS
8. ANODIZED ALUMINUM METAL FRAME
9. PAINTED MESH PANEL
10. STOREFRONT GLAZING SYSTEM
11. CLEAR GLASS
12. METAL LOUVERS
13. SPANDREL GLASS
14. CUSTOMIZED PERFORATED METAL PANEL
15. GLASS RAILING
16. FALL PROTECTION RAILING
17. MESH SCREEN FOR MECHANICAL ENCLOSURES
18. ALUMINUM SUNSHADE ABOVE WINDOW
19. TRANSLUCENT GLASS



② WEST ELEVATION  
1/16" = 1'-0"



① EAST ELEVATION  
1/16" = 1'-0"



NOT FOR CONSTRUCTION

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
BUILDING  
ELEVATIONS  
ISSUE FOR  
EIR

JOB NO.  
01020

DATE  
MAY 15 2017

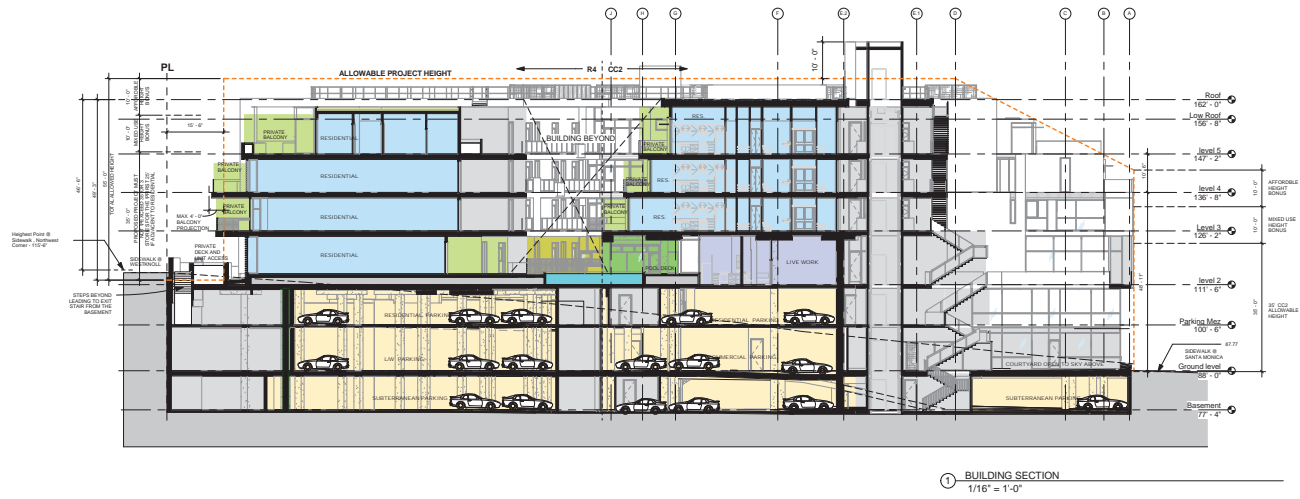
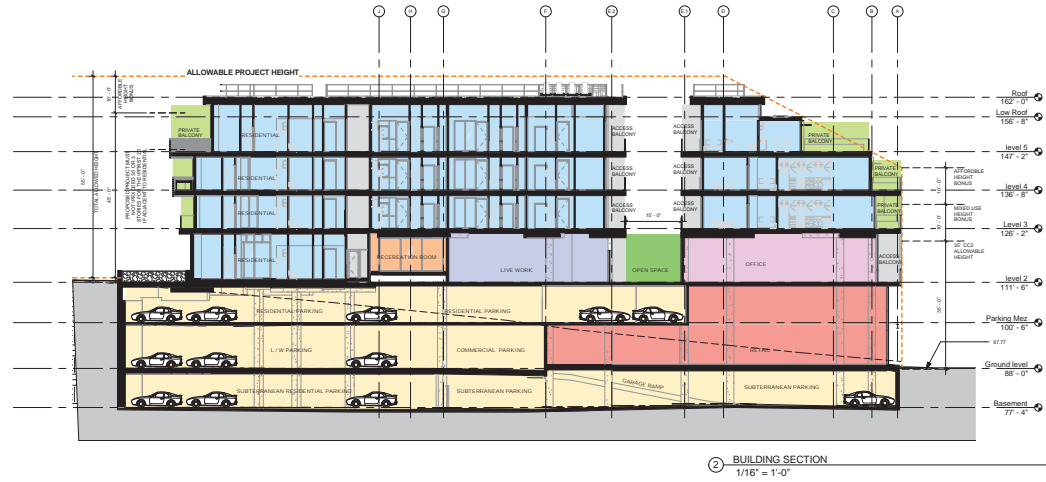
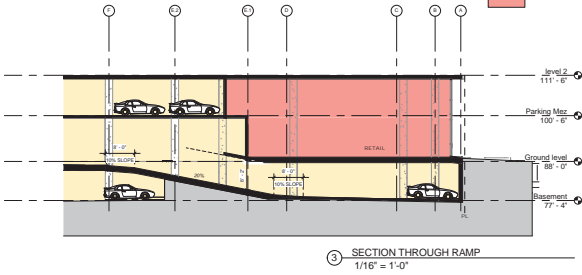
SCALE 1/16" = 1'-0"

SHEET **A3.02**

When dimensions are given in feet and inches, fractional inches shall be rounded off to the nearest 1/8". Dimensions shall not be scaled. Contractors shall verify, verify, verify. Responsibility for all dimensions and conditions shown on these drawings shall remain with the architect. These drawings shall not be submitted to the city for approval before processing with the contractor.

**LEGEND**

- ADDITIONAL OPEN SPACE
- COMMON AREAS
- OFFICE
- LIVE/WORK
- PARKING
- RESIDENTIAL
- PRIVATE OPEN SPACE
- ACCESS
- RETAIL



NOT FOR CONSTRUCTION

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
BUILDING SECTIONS

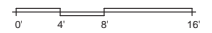
ISSUE FOR  
EIR

JOB NO.  
01020

DATE  
MAY 15 2017

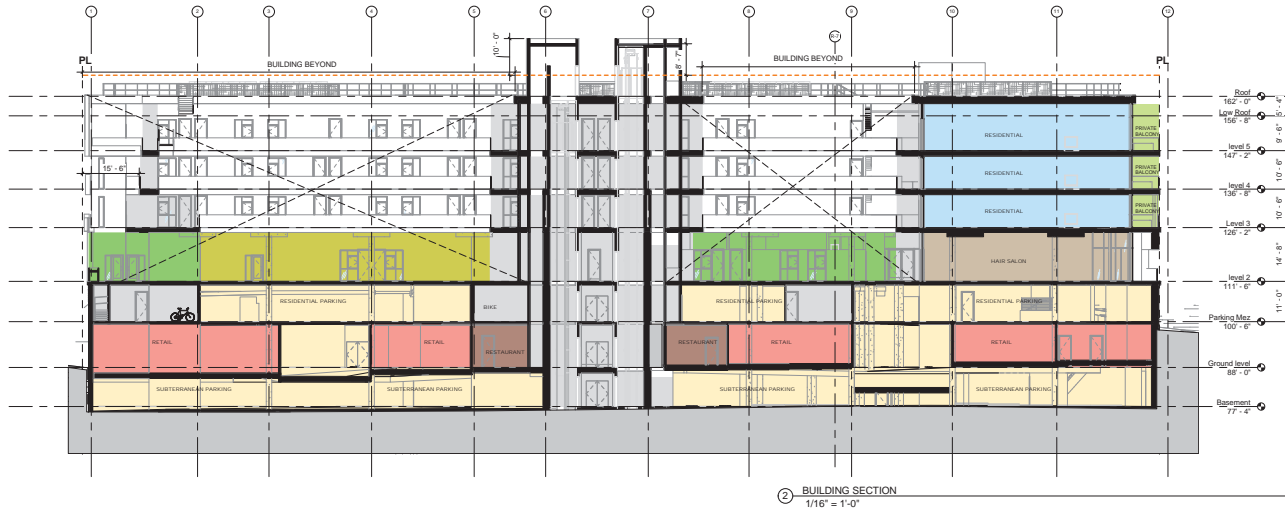
SCALE 1/16" = 1'-0"

SHEET **A4.01**



When dimensions are given in feet and inches, fractional inches shall be rounded down. Change shall not be noted. Conditions shall apply, unless otherwise specified. All dimensions are indicated unless otherwise noted. This sheet shall be submitted to the office for approval before proceeding with fabrication.

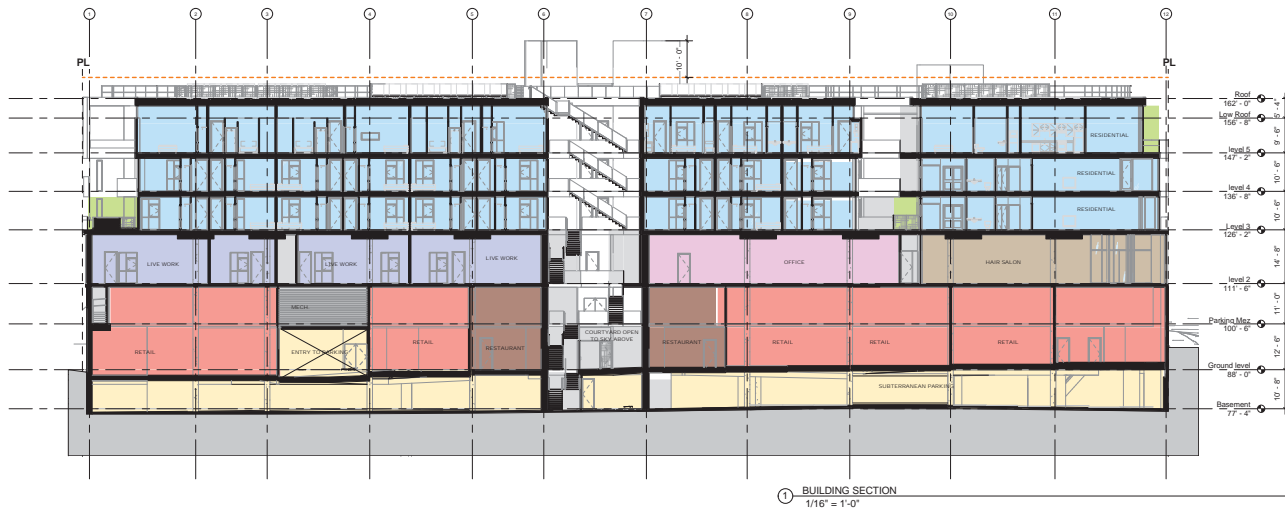




**LEGEND**

- COMMON OPEN SPACE
- ADDITIONAL OPEN SPACE
- HAIR SALON
- PARKING
- RESIDENTIAL
- PRIVATE OPEN SPACE
- ACCESS
- RETAIL
- RESTAURANT

② BUILDING SECTION  
1/16" = 1'-0"



**LEGEND**

- HAIR SALON
- OFFICE
- LIVE/WORK
- PARKING
- RESIDENTIAL
- PRIVATE OPEN SPACE
- ACCESS
- RETAIL
- RESTAURANT

① BUILDING SECTION  
1/16" = 1'-0"

NOT FOR CONSTRUCTION

JOB TITLE  
8555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
BUILDING SECTIONS

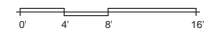
ISSUE FOR  
EIR

JOB NO.  
01020

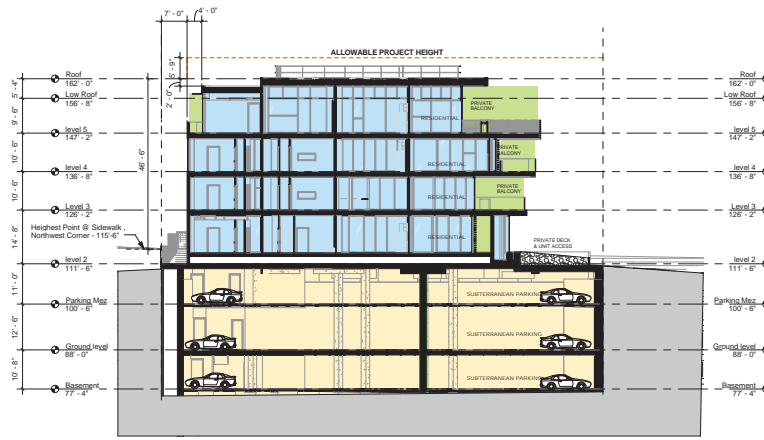
DATE  
MAY 15 2017

SCALE 1/16" = 1'-0"

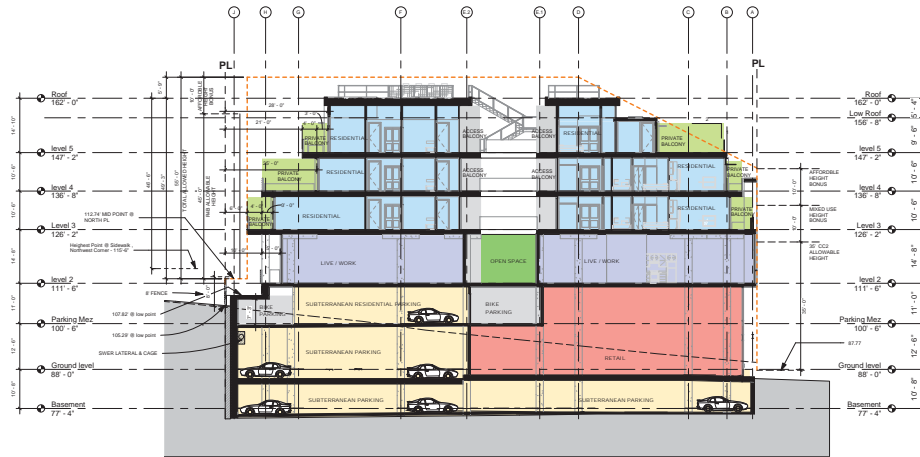
SHEET **A4.02**



When developed in accordance with the California Professional Engineer Act, the Engineer shall not be held responsible for any errors or omissions. The Engineer shall not be held responsible for any errors or omissions. The Engineer shall not be held responsible for any errors or omissions. The Engineer shall not be held responsible for any errors or omissions.



2 BUILDING SECTION  
1/16" = 1'-0"



1 BUILDING SECTION  
1/16" = 1'-0"

LEGEND

- ADDITIONAL OPEN SPACE
- LIVE/WORK
- PARKING
- RESIDENTIAL
- PRIVATE OPEN SPACE
- ACCESS
- RETAIL

NOT FOR CONSTRUCTION

JOB TITLE  
6555 SANTA MONICA  
MIXED USE DEVELOPMENT

JOB ADDRESS  
WEST HOLLYWOOD, CA 90069

SHEET TITLE  
BUILDING SECTIONS

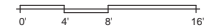
ISSUE FOR  
EIR

JOB NO.  
01020

DATE  
MAY 15 2017

SCALE  
1/16" = 1'-0"

SHEET **A4.03**



When dimensions are given in feet and inches, fractional inches shall be rounded to the nearest 1/8 inch. Dimensions shall not be scaled. Conditions shall apply, and the responsibility for all dimensions and conditions shown on these drawings shall remain with the architect. No part of this document shall be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.



**PLANTS LEGEND**

	SPECIES
1	(8) Existing Chinese Elms on sidewalk to remain and be protected during construction
2	(2) New <i>Ulmus parviflora</i> to match existing sidewalk Chinese Elm trees (36" box min.)
3	(8) Existing parkway trees to remain and be protected during construction
4	(2) Existing parkway tree to be removed for construction of driveway with City approval
5	(2) Existing parkway palm trees to be removed with City approval
6	(3) New parkway trees to match existing parkway trees (36" box min.)
7	Ceanothus 'Centennial' Centennial Calif. Lilac in parkway
8	Phyllostachys nigra 'Daikokuchiku' in raised steel planter / Giant Black Bamboo
9	Sansevieria 'Bantel's Sensation' in raised steel planters / Mother-in-Law's Tongue

**NOTES:**

- This project will retain all existing street trees where possible.
- All street trees will be protected during construction per City recommendations.
- No piling of any construction debris is permitted for public street trees.
- No trimming of tree limbs or roots is permitted for public street trees. Please contact David Gardner early in the design process at (323) 848-6549 for more information on this topic.
- 1 inch plywood shall be placed over the Parkway strip surrounding the tree, prior to construction, and shall remain in place throughout construction in an effort to prevent soil compaction.
- Please notify David Gardner (323) 851-4811 when demolition /construction permits have been issued, so that the City can inspect to ensure that appropriate tree protection measures are in place.
- Use recycled content mulch or other landscape amendments.
- For each tree larger than 6" removed on the project site, a new canopy tree will be planted.

**MATERIALS LEGEND**

	MATERIAL
A	Scored concrete paving with integral color to match existing sidewalk specifications
B	Linear concrete pavers to enhance and differentiate entrances
C	Water veil fountain 20' - 30' h with changing LED lights



1 (8) Existing Chinese Elms on sidewalk to remain  
2 (2) New *Ulmus parviflora* to match (e) sidewalk trees  
3 (8) Existing parkway trees to remain



4 (2) Existing parkway tree to be removed  
5 Existing parkway palm trees to be removed  
6 (3) New parkway trees to match existing



7 Ceanothus 'Centennial'  
Centennial Calif. Lilac  
8 Phyllostachys nigra  
Daikokuchiku / Black Bamboo  
9 Sansevieria 'Bantel's Sensation'  
Mother-in-Law's Tongue



A Scored conc. paving to match existing sidewalk specifications  
B Linear conc. paving to enhance and differentiate entrances  
C Water veil fountain 20' - 30' h with changing LED lights



1 GROUND FLOOR LANDSCAPE PLAN

PROJECT:  
**SANTA MONICA & WEST KNOLL**  
 MIXED USE BUILDING  
 8555 SANTA MONICA BLVD  
 WEST HOLLYWOOD, CA 90069

**SUBMITTALS**

DATE	COMMENT

**REVISIONS**

NO.	DATE	COMMENT

SHEET TITLE  
**GROUND FLOOR LANDSCAPE PLAN**

DATE MAY 15 2017  
 SCALE  
 PROJ. NO.  
 SHEET NO.

**L 1.0**

**PLANTS LEGEND**

1	SPECIES
1	Parthenocissus tricuspidata to cover walls Boston Ivy
2	Dianella tasmanica 'Variegata' White Striped Tasman Flax Lily
3	Pseudosasa japonica Arrow Bamboo in 36" h steel planter
4	Ficus pumila Creeping Fig to cover wall/fence
5	(β) Cercis canadensis 'Forest Pansy' Forest Pansy Eastern Redbud
6	Sansevieria 'Bantel's Sensation' Mother-in-Law's Tongue in 36" h steel planter
7	Sansevieria trifasciata Mother-in-Law's in 36" h steel planter
8	Dracaena & Philodendron 'Xanadu' mix
9	Chondropetalum tectorum Cape Rush

**MATERIALS LEGEND**

A	MATERIAL
A	Concrete paving with integral color
B	12" x 24" porcelain tile at private outdoor decks
C	Scored and colored concrete paving
D	Wood bench
E	Concrete fire bowl
F	Water feature
G	Pool
H	Ipe wood deck



1 Parthenocissus tricuspidata Boston Ivy



2 Dianella tasmanica 'Variegata' Variegated Tasman Flax Lily



3 Pseudosasa japonica Arrow Bamboo



10 Equisetum Horse Tail



4 Ficus pumila Creeping Fig



5 (β) Cercis can. 'Forest Pansy' Forest Pansy Eastern Redbud



6 Sansevieria 'Bantel's Sensation' Mother-in-Law's Tongue



7 Sansevieria trifasciata Mother-in-Law's Tongue



8 Dracaena & Philodendron 'Xanadu' mix



9 Ceanothus 'Centennial' Centennial Calif. Lilac



A Concrete paving with integral color



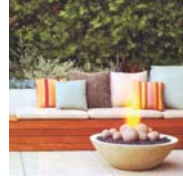
B 12" x 24" porcelain tile at private outdoor decks



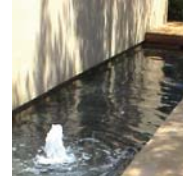
C Scored and colored concrete paving



D Wood bench



E Concrete fire bowl



F Water feature



G Pool



H Ipe wood deck



**NOTE:**  
 1. Access to maintain Boston Ivy on West wall of property is contingent on permission given by adjacent Ramada Hotel.  
 2. If permission is not granted, then an alternative, synthetic vine will be substituted.

PROJECT:  
**SANTA MONICA & WEST KNOLL  
 MIXED USE BUILDING**  
 8555 SANTA MONICA BLVD  
 WEST HOLLYWOOD, CA 90069

**SUBMITTALS**

DATE	COMMENT

**REVISIONS**

NO.	DATE	COMMENT

**SHEET TITLE**

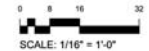
**SECOND FLOOR LANDSCAPE PLAN**

DATE MAY 15 2017

SCALE

PROJ. NO.

SHEET NO.



**1 SECOND FLOOR LANDSCAPE PLAN**

**L 2.0**



PLANTS LEGEND

	SPECIES
1	Pseudosasa japonica Arrow Bamboo in 36" h steel planter
2	Sansevieria 'Bantel's Sensation' Mother-in-Law's Tongue in 36" h steel planter
3	Sansevieria trifasciata Mother-in-Law's Tongue in 36" h steel planter
4	Phormium 'Yellow Wave' Yellow Wave Zealand Flax in 36" h steel planter
5	Phormium 'Rubrum' Red New Zealand Flax in 36" h steel planter
6	Dianella tasmanica 'Variegata' Variegated Tasman Flax Lily
7	Afrocarpus gracilior African Fern Pine in 36" h steel planter
8	Olea europaea 'Fruitless' Fruitless Olive in 36" h steel planter
9	Parthenocissus tricuspidata to cover walls Boston Ivy

MATERIALS LEGEND

	MATERIAL
A	12" x 24" porcelain tile at private outdoor decks
B	Concrete paving with integral color
C	Spa



1 Pseudosasa japonica  
Arrow Bamboo



2 Sansevieria 'Bantel's Sensation'  
Mother-in-Law's Tongue



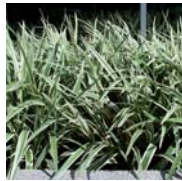
3 Sansevieria trifasciata  
Mother-in-Law's Tongue



4 Phormium 'Yellow Wave'  
Yellow Wave Zealand Flax



5 Phormium 'Rubrum'  
Red New Zealand Flax



6 Dianella tasmanica 'Variegata'  
Variegated Tasman Flax Lily



7 Afrocarpus gracilior  
African Fern Pine



8 Olea europaea 'Fruitless'  
Fruitless Olive



9 Parthenocissus tricuspidata  
Boston Ivy (over wall)



A 12" x 24" porcelain tile  
at private outdoor decks



B Concrete paving with  
integral color



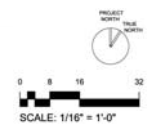
C Spa



D Ipe wood deck



1 THIRD FLOOR LANDSCAPE PLAN



PROJECT:  
SANTA MONICA & WEST KNOLL  
MIXED USE BUILDING  
8555 SANTA MONICA BLVD  
WEST HOLLYWOOD, CA 90069

SUBMITTALS		
DATE	COMMENT	

REVISIONS		
NO.	DATE	COMMENT

SHEET TITLE  
THIRD FLOOR  
LANDSCAPE PLAN  
DATE MAY 15 2017  
SCALE  
PROJ. NO.  
SHEET NO.

L 3.0

PLANTS LEGEND

SPECIES
<b>1</b> Sansevieria 'Bantel's Sensation' Mother-in-Law's Tongue
<b>2</b> Sansevieria trifasciata Mother-in-Law's Tongue
<b>3</b> Phormium 'Yellow Wave' Yellow Wave Zealand Flax
<b>4</b> Phormium 'Rubrum' Red New Zealand Flax
<b>5</b> Pittosporum tenuifolium 'Silver Sheen' Silver Sheen Kohuhu
<b>6</b> Afrocarpus gracilior African Fern Pine in 36" h steel planter

MATERIALS LEGEND

MATERIAL
<b>A</b> 12" x 24" porcelain tile at private outdoor decks
<b>B</b> Concrete paving with integral color



**1** Sansevieria 'Bantel's Sensation'  
Mother-in-Law's Tongue



**2** Sansevieria trifasciata  
Mother-in-Law's Tongue



**3** Phormium 'Yellow Wave'  
Yellow Wave Zealand Flax



**4** Phormium 'Rubrum'  
Red New Zealand Flax



**5** Pittosporum tenuifolium  
'Silver Sheen' / Kohuhu



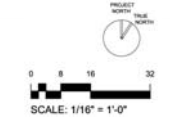
**6** Afrocarpus gracilior  
African Fern Pine



**A** 12" x 24" porcelain tile at private outdoor decks



**B** Concrete paving with integral color



**1** FOURTH FLOOR LANDSCAPE PLAN

PROJECT:  
**SANTA MONICA & WEST KNOLL**  
 MIXED USE BUILDING  
 8555 SANTA MONICA BLVD  
 WEST HOLLYWOOD, CA 90069

SUBMITTALS

DATE	COMMENT

REVISIONS

NO.	DATE	COMMENT

SHEET TITLE

FOURTH FLOOR LANDSCAPE PLAN

DATE MAY 15 2017

SCALE

PROJ. NO.

SHEET NO.

**L 4.0**



**PLANTS LEGEND**

	SPECIES
1	Sansevieria 'Bantel's Sensation' Mother-in-Law's Tongue
2	Sansevieria trifasciata Mother-in-Law's Tongue
3	Phormium 'Yellow Wave' Yellow Wave Zealand Flax
4	Phormium 'Rubrum' Red New Zealand Flax
5	Afrocarpus gracilior African Fern Pine
6	Olea europaea 'Fruitless' Fruitless Olive

**MATERIALS LEGEND**

	MATERIAL
A	Ipe wood deck
B	Concrete paving with integral color



1 Sansevieria 'Bantel's Sensation'  
Mother-in-Law's Tongue



2 Sansevieria trifasciata  
Mother-in-Law's Tongue



3 Phormium 'Yellow Wave'  
Yellow Wave Zealand Flax



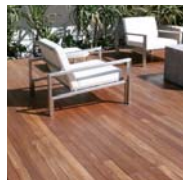
4 Phormium 'Rubrum'  
Red New Zealand Flax



5 Afrocarpus gracilior  
African Fern Pine



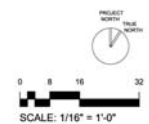
6 Olea europaea 'Fruitless'  
Fruitless Olive



A Ipe wood deck



B Concrete paving with  
integral color



1 FIFTH FLOOR LANDSCAPE PLAN

PROJECT:  
**SANTA MONICA & WEST KNOLL**  
MIXED USE BUILDING  
8555 SANTA MONICA BLVD  
WEST HOLLYWOOD, CA 90069

**SUBMITTALS**

DATE	COMMENT

**REVISIONS**

NO.	DATE	COMMENT

SHEET TITLE

FIFTH FLOOR LANDSCAPE PLAN

DATE	MAY 15 2017
SCALE	
PROJ. NO.	
SHEET NO.	

L 5.0



**PLANTS LEGEND**

SPECIES	
<b>1</b>	Extensive green roof (Mixture of native and climate-appropriate drought-tolerant species. Exact composition to be determined with green-roof consultant)
<b>2</b>	Sanseveria trifasciata Mother-in-Law's Tongue
<b>3</b>	Afrocarpus gracilior African Fern Pine in 48" h planter

**MATERIALS LEGEND**

MATERIAL	
<b>A</b>	Ipe wood deck
<b>B</b>	Concrete paving with integral color
<b>C</b>	Spa



Extensive green roof (Mixture of native and climate-appropriate drought-tolerant species)



**2** Sanseveria trifasciata  
Mother-in-Law's Tongue



**3** Afrocarpus gracilior  
African Fern Pine



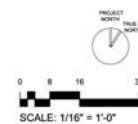
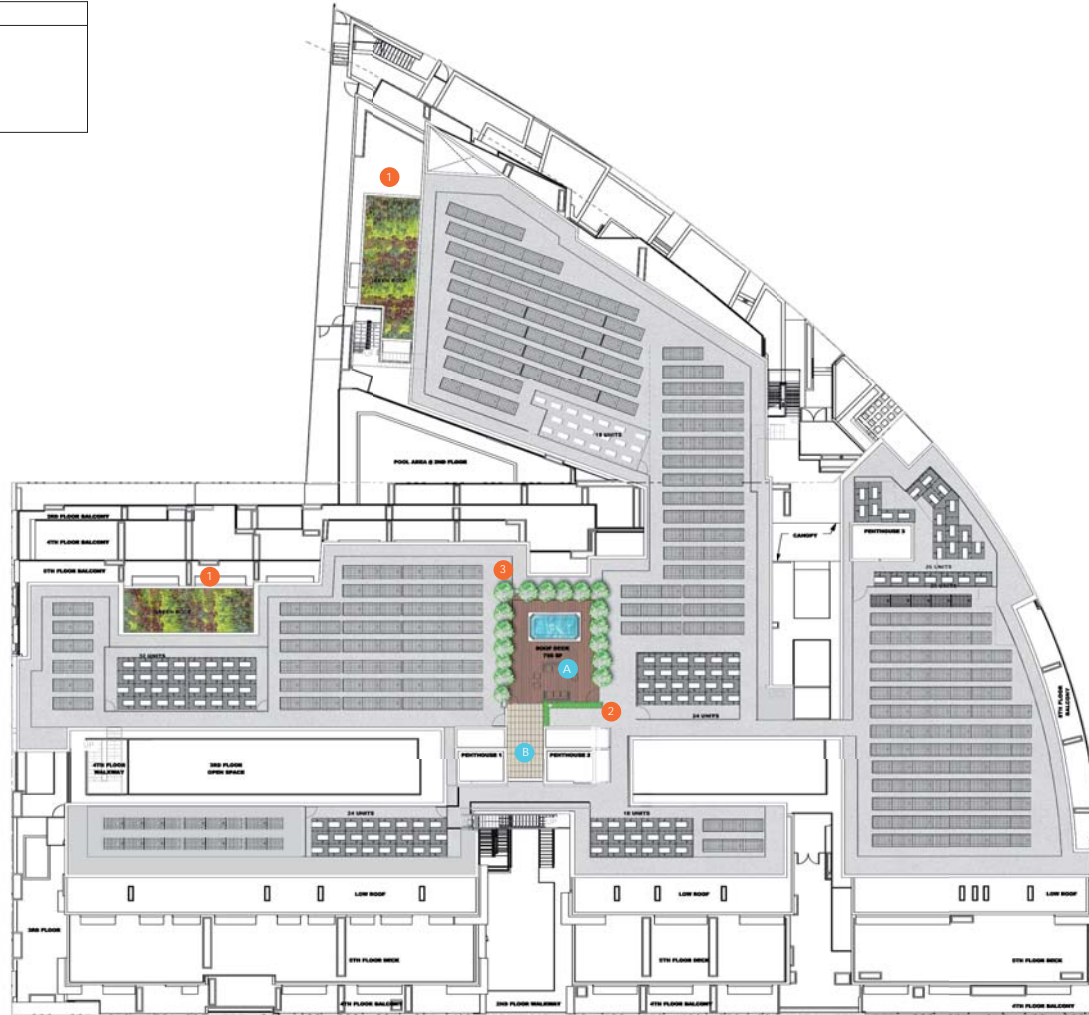
**A** Ipe wood deck



**B** Concrete paving with integral color



**C** Spa



**1 ROOF LANDSCAPE PLAN**

**PROJECT:**  
 SANTA MONICA & WEST KNOLL  
 MIXED USE BUILDING  
 8555 SANTA MONICA BLVD  
 WEST HOLLYWOOD, CA 90069

**SUBMITTALS**

DATE	COMMENT

**REVISIONS**

NO.	DATE	COMMENT

SHEET TITLE

DATE MAY 15 2017  
 SCALE  
 PROJ. NO.  
 SHEET NO.

**L 6.0**