

# **WEST HOLLYWOOD PARK MASTER PLAN 2004**

*City of West Hollywood*



*Final Report*

Of the seven Commissioners in attendance six confirmed their ability to attend



# **WEST HOLLYWOOD PARK MASTER PLAN 2004**

*City of West Hollywood*

*Developed by:*

***The People of the City of West Hollywood***

***The City of West Hollywood City Council 2002-2003***

***The City of West Hollywood Parks Master Plans Steering Committee***

***The City of West Hollywood Public Facilities Commission***

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Rent Stabilization and Housing, Economic Development and Special Projects,  
Public Information and Legal Services***

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## The West Hollywood Park Master Plan

This report summarizes the results of a ten month, three-phase planning effort for the West Hollywood Park Master Plan in West Hollywood, CA. The first phase, “*Reconnaissance and Analysis*”, consisted of documentation of the physical existing conditions of the park, familiarization and assistance with the understanding of the purposes of the park and a vision for its physical setting as an expression of those purposes. The second phase “*Park Program, Preliminary Master Plan and Feasibility Study*” consisted of in-depth and comprehensive alternate layouts of the park and its principal components with an emphasis on the library, parking and the recreational and community facilities. Both phases included interviews, meetings and workshops with the West Hollywood Parks Master Plans Steering Committee, the Public Facilities Commission, the West Hollywood City Council, City of West Hollywood Department heads and staff, stakeholders, interest groups and the general public.

Upon completion of the first and second phases a preferred plan was agreed upon and developed in the third phase “*Final Master Plan and Feasibility Report*” with an emphasis on establishing a framework for the future design of the park itself. The final plan includes a summary of the costs and benefits of implementation as well as a road map for the execution of the plan over time.

**Introduction.** This section describes the park, its purposes as currently expressed in its existing condition and by those who use it, as well as general characteristics of its physical setting. The purposes and process of the master plan are outlined and followed by the vision statement which emerged from the *Reconnaissance and Analysis* phase.

**The Park Master Plan.** This section describes the master plan for the park and is divided into the four main components beginning with the park itself, followed by the library, the vehicular circulation and parking plan and finally the aquatics and recreation centers.

**Implementation and Investment.** This section begins with the identification of those facilities that will be removed and replaced in other locations in order to make way for the expansion of the park. The implementation of the plan is described in four phases: 1) the new library 2) the aquatics center with parking; 3) the recreation center with parking and 4) the completion of the park. A conceptual cost estimate outlines the capital investment required to complete the implementation of the plan.

**Appendices.** This section includes a record of the interviews, meetings and forums conducted throughout the process and acknowledgments of those who participated. Under separate cover are: The background information and supporting analysis that are the foundation for the new park plan; a more detailed set of guidelines for the landscape component of the park; the supporting graphic materials for the City’s application to the State of California for the funding of the library and a detailed construction cost estimate for the library project.



*The West Hollywood Park Illustrative Plan. See Appendix II for the Regulating Plan and alternate Interpretations*

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## **West Hollywood Park**

West Hollywood Park lies within the city block bounded by Santa Monica Boulevard on the north, Melrose Avenue on the south, San Vicente Boulevard on the east and Robertson Boulevard on the west. Retail, restaurant and nightclub establishments line both sides of Santa Monica Boulevard which is active during all hours of the day and evening and into the late hours of the night on weekends. The boulevard is the main east-west vehicular artery of the City, and pedestrian-friendly with wide tree-lined sidewalks. San Vicente Boulevard forms the western boundary of the block separating it from the expansive site of the Pacific Design Center; north of the PDC are the Westside MTA Bus Depot and the Los Angeles County Sheriff's Station. San Vicente is a wide vehicular-oriented boulevard with little pedestrian activity. The intersection of San Vicente and Santa Monica Boulevards is considered the heart of the westside of the City. The western boundary of the block is formed by Robertson Boulevard which, like Santa Monica Boulevard, is lined with retail, restaurant and nightclub establishments; Robertson is more intimate in scale than either Santa Monica or San Vicente, not arterial in nature, and heavily used by pedestrians making their way to and from the various night spots and stores. Melrose Avenue forms the southern boundary of the block and is lined with one- and two-story commercial buildings.

The park itself lies on approximately six and a half acres in a roughly rectangular shape, its long dimension running north-south parallel to Robertson and San Vicente Boulevards. It fronts mainly onto San Vicente Boulevard with a small projection extending to Robertson Boulevard. Its northern boundary is formed by the back sides of the commercial properties facing onto Santa Monica Boulevard, a City-owned (and substandard) alley and surface parking lots. The west side of the park is formed by the back sides of commercial properties fronting onto Robertson. The southern boundary of the park is formed by an alley that runs along the back sides of the commercial properties facing onto Melrose Avenue. This alley is owned by the County but maintained and operated by the City. El Tovar Place is a cul-de-sac leading out from the southwest corner of the park to Robertson Boulevard. A County-owned maintenance yard is connected to this cul-de-sac (the "El Tovar maintenance yard"). The County-owned and City-operated Ron Stone Clinic building and parking lot are at the southeast corner of the park facing onto San Vicente Boulevard.

The topography of the block is consistent with its position at the base of the Hollywood Hills as they transition to the flats of the Los Angeles basin. San Vicente Boulevard transforms from a steeply inclined street north of Santa Monica Boulevard to almost completely level south of Melrose Avenue. The site drops 40'-0" from the intersection of Santa Monica and San Vicente to the intersection of Melrose and San Vicente.

West Hollywood Park was developed in the 1960's as a part of the Los Angeles County Park System. In 1985 its operation and maintenance responsibilities were assumed by the newly incorporated City. The park is host to a wide range of community and recreational facilities such as a multipurpose auditorium, children play areas and tot lot,



*View of West Hollywood Park along San Vicente Boulevard. The park is most visible along its eastern flank which faces onto San Vicente Boulevard. The Hollywood Hills come into view above the park as one approaches West Hollywood from the south.*

picnic areas, a softball field, swimming pool, basketball courts and tennis courts. The multi-purpose auditorium has been the venue for regular City Council and Planning Commission meetings since the City's founding in 1984. The swimming pool complex was built in the 1960's as a seasonal facility and has been upgraded on a couple of occasions in recent years to become a year-round facility. The 5,000 SF library is a county-run facility on county-owned property and admired by its users for the quality of the staff and services they provide. It is widely accepted that most of the facilities in the park are inadequate in size and state of repair.

The most popular part of the park and what many consider the heart of the park is the area west of the pool and auditorium where the tot lot and children's playground are separated by a picnic area--all nestled within the canopy of mature trees and surrounded by shaded grassy areas. Parents with young children congregate daily in this part of the park to relax, play and socialize in an environment that is demographically diverse, tolerant and alive with a sense of community. Just over one acre in size this area is prized by parents for its intimacy in scale (appropriate for young children) and its sense of security by virtue of its separation from the surrounding streets.

As one of the two principal city-owned and operated public facilities in the City, West Hollywood park is the site for the delivery of many of the recreational and social services provided by the City. In addition regularly scheduled and special events of a variety of size and type are staged in the park over the course of the year including, Christopher Street West, the Halloween Youth Carnival and the West Hollywood Book Fair.





*West Hollywood Park* . The park lies within the city block bounded by Santa Monica Boulevard on the north (right), Melrose Avenue on the south (left), San Vicente Boulevard on the east (bottom) and Robertson Boulevard on the west (top). The park is host to a wide variety of recreational and community facilities.



**INTRODUCTION** WEST HOLLYWOOD PARK MASTER PLAN 2004 - *Final Report*  
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*West Hollywood Park lies at the heart of the westside of the City. Its neighbors include the Pacific Design Center, design and antique shops along Melrose Avenue and the restaurant, bar and nightclub scene of Santa Monica and Robertson Boulevards. The LA County Sheriff's Office is across San Vicente Boulevard and next to the huge MTA Westside Bus Depot property.*



West Hollywood Park is 6.59 acres in overall area and home to an auditorium, pool with pool house, library, tiny-tot building, public restrooms, tot lot, children's playground, two basketball courts, two tennis courts, picnic area and two parking lots, the north lot and the south lot.

## The Purpose and the Process of the Master Plan

In April of 2002, the City Council approved an agreement with a design team to create a new master plan for West Hollywood Park which was to include among other things the siting and configuration of a new and expanded West Hollywood Library. Also to be included in the plan were provisions for renovated, replaced and possibly expanded recreation fields and facilities as well as, most importantly, the expansion and configuration of meaningful, community oriented, gracious and generous unprogrammed open space with grass and trees. Parking and other related facilities such as community meeting rooms were to be considered as well.

In addition to other documents and research, the master plan made use of three important preexisting studies, 1) the City-wide *City of West Hollywood Parks and Recreational Needs Assessment*, published in August 2000, 2) the *City of West Hollywood Library and Visioning Process and Building Program*, published in December 2000; and 3) the *West Hollywood Park Master Plan and "Design Development Report,"* published in March 1994.

West Hollywood Park has a potentially powerful role to play as a community oriented civic amenity within the City. The park creates a shared identity among the City's residents and business owners. It has a unique history and physical setting in one of the most dynamic areas of the city. The purpose of the master plan was to capitalize on these strengths and, importantly, to create tangible relationships between the shared recreational and social life of the City and its physical setting. ***This was not an abstract or formulaic exercise, but rather one that required creativity, imagination and flexibility of thought manifested through the use of a variety of visual tools--drawings and models--to arrive at a tangible and meaningful vision that is shared and supported by the entire West Hollywood community.*** A sound foundation in observation and analysis as well as a healthy respect for the contingencies and circumstances of the economic means of the city, as well as the social and political environment was crucial. The process of imagining, questioning and revising over the course of an intensely collaborative ten month period led to a vision with the right balance of the ambitious, the wonderful, the pragmatic and the achievable.

## Relating the Short Term to the Long Term.

The master plan structures thought and provides a framework within which decisions can be made about intended infrastructure, building and landscape projects now and as they arise in the future. In the initial stages it was an exercise in imagining an ideal: "*What would we do if we could control everything and had all the resources we needed at our disposal today?*" This is a powerful method to flush out ideas, observations, obstacles and opportunities. It is especially useful in broadening horizons of thought, creating possibilities where there were thought not to exist and nurturing the will to do better than what near-term concerns might ordinarily suggest. It is never intended that a master plan be devised

as a blueprint for one giant static project unto itself whose value is diminished by virtue of it not taking place all at once or ever being realized in its entirety. Its value lies in its ability to balance objectives and priorities from the long view and thus prevent short-term decisions from creating obstacles to the eventual completion of a coherent overall park. This is not to say that every attempt should not be made to follow the lead of the master plan once it is adopted. A good park plan will allow for incremental execution of individual components as the need arises, while creating interim conditions which do not function or feel like incomplete fragments.

## The Task at Hand.

The specific charge of this planning effort was to:

- ***Identify, locate sites for and give definition to major components of the park.***

*Including : 1) generous, coherent, integrated and meaningful open space with grass and trees; 2) a new library; 3) at least two children's playground areas (tots and young children); 4) an ensemble of recreational fields and courts including tennis and basketball and a play field; 5) a possible indoor multipurpose recreational facility; 6) a possible assembly room and/or collection of multipurpose meeting rooms; 7) an aquatics facility for both recreational and competitive/training uses; and 8) a 400-600 car parking facility (or facilities) to serve the library, the recreation and community facilities and the park as well as surrounding commercial areas.*

- ***Create a regulating plan that will govern development of the park far into the future. Demonstrate alternate interpretations of the regulating plan.***
- ***Create design guidelines for the major facilities as well as landscape and open space components of the park***
- ***Accommodate vehicular, bicycle and pedestrian circulation and parking.***
- ***Create an outline implementation plan and alternative development strategies made possible by the regulating plan.***
- ***Create an illustrative outline capital investment plan related to the implementation plan.***

## What the Master Plan Did Not Do.

The master plan did not:

- **Program individual components of the park.**

*(With the exception of the library for which a program had been previously developed and for which a comprehensive pre-schematic set was developed in preparation for application to the State of California for construction funding)*

- **Design individual facilities in the park.**
- **Design landscape and open space components of the park.**
- **"Lock-in" facilities or park component designs**

*(The success of the plan does not depend on specific designs of any single component).*

- **Prevent nor discourage incremental development of the park, nor alternate development scenarios.**
- **Preclude the incorporation of varying interpretations of the master plan and/or design guidelines arising out of unforeseen events, influences or new requirements of the future.**

## Process and Collaboration.

In the creation of the plan the discipline to abide by the framework of the process itself was the best way, over time, to avoid unnecessary conflict, the wasting of resources and the inefficient doubling of efforts. Within a municipal setting it was imperative that stakeholders and interest groups work together in the envisioning process and that one group understood the perspective of the other.

A good plan enhances the fortunes of all groups. It brings interests into alignment, such that the satisfaction of the needs of one group does not prevent the satisfaction of the needs of others and, further, accrue benefits not just to itself but also to the community as a whole. For the process to work best, *it was critical to hear from as many constituents as possible as early as possible--that constituents voiced their needs, desires and concerns in good faith, participated fully throughout the process with the goal in mind to find solutions and in the process create the conditions for success.*

The following is a summary of the "ground rules" that all participants acknowledged and accepted in the orderly unfolding of the collaborative process:

- Everyone recognized that the parks are for everyone in West Hollywood, and therefore had to accommodate a wide variety of needs and desires.
- Participants were obligated to participate in good faith including participation from the beginning, throughout and to the conclusion of the process; it included listening to others, understanding where others were coming from and an attitude of finding ways to say "yes".
- All participants were called upon to seek solutions. In making a demand or expressing a need participants were asked to simultaneously put forth solutions for such demands and expect to work with the needs of others in devising such solutions.
- Participants were prepared for compromise. Not every detail of every need was by able to be met in the master plan. Participants worked together to prioritize shared needs and devise common goals that the city as a whole was able to embrace.
- Respect for the process was paramount. The organization of a process that was both structured and open-ended allowed for the orderly unfolding of events, maximum participation and creativity.

The core team at the City of West Hollywood charged with the stewardship of the process was led by Sam Baxter, Manager of the Facilities and Landscape Division under the leadership of Lloyd Long Director of the Human Services Department, Ray Reynolds Director of Economic Development and Special Projects, Paul Arevalo, City Manager and many other dedicated staff people in the City of West Hollywood. The Parks Master Plans Steering Community was the 21-member community-based entity which gave direction to, guided and made recommendations regarding the development of the plan. Ultimately, it was the people of the City of West Hollywood who, through its representatives on the City Council, approved the plan.

*See Appendix (I) "The Record of Outreach and Acknowledgements for a detailed account of the outreach component of the master plan process.*



### **A Vision for the Park.**

From the hills above West Hollywood, the park stands out as an oasis of green within a dynamic, bustling city. Its mature trees, expanses of grass and paths create a lush, shaded and peaceful garden. Along San Vicente Boulevard as drivers enter the city, they see a monumental canopy of trees through which the Hollywood Hills come into view. From within, the park affords a wide variety of experiences such as strolling through an allee of trees, jogging, tossing a frisbee, or chatting with a friend on a bench. The park is a crossroads, where the community comes together, formally and informally at all hours of the day and evening, every day of the year. It is easy to get to the park from just about everywhere. Walking along the promenades of Santa Monica Boulevard, views open up into the park and easy, gracious paths offer a variety of ways to enter and leave the park from all sides. Bicyclists meander through and around the park as they make their way across town.

People of all ages and all walks of life come to the park for lots of different reasons. Some come to play a game of pickup basketball, others to take a tennis lesson, still others for a swim workout. There is a mix of young parents with their children playing in the playgrounds, and the elderly relaxing nearby. Still others are there to take a dancing class, listen to a lecture or attend an important community meeting. The park is often filled with people gathered for festivals, fairs and carnivals; some events last just for an afternoon, others span the days and evenings of a long weekend. New businesses and gathering spots at the park's perimeter open completely up to the park, offering refreshments, souvenirs and sundries. The park is both an active city gathering space and a place of solitude and quiet.

This park is a vital part of the daily life of the city because of its variety of activities, the diversity of its people and its full use over the span of a day and night. It is and must be all things to all people-- a town square, the village green, a place to promenade, a place to meet up with a friend, a recreational resource for the whole family at every stage of life. It is safe at all hours because it supports and augments the vibrant nightlife of this city center, and is not just an afterthought or de-facto adjacent and conflicting use. People live around this park because they are drawn to the center of this city precisely because it is the center of action and at the same time provides a respite from urban life for all the senses.

The library anchors the park and is visibly linked to Santa Monica Boulevard, the city's main street. The library's principal reading room is perched above the canopy of trees and looks into the park and all of its activities. The city and the hills beyond are the backdrop. The library is modest yet dignified, addressing both the street and its park setting, like the great American city libraries of the Midwest and the East Coast. The library is also an intimate place, at once accessible and secluded. Inside there is a big court, open to the sky—a kind of outdoor reading room. It is easy to get there too. Arriving by car, you can drive directly into a generous, spacious garage, hidden from sight well-lit, safe and accessible to all points in the park and to the library.



***Grass and Trees.*** *The preservation and creation of uninterrupted open space with grass and trees is one of the highest priorities in West Hollywood.*

The recreation center is bustling all the time; on weekend evenings, teens play midnight basketball in the big gym; early in the morning, seniors use the fitness center. Community meetings, ball room dancing, acting and violin lessons are just some of the many activities taking place around the clock here. The aquatic center is generous in size and connected visually and functionally to the park. It is used day and night and measures up in size and technologically to the talents and aspirations of its users. The masters team works out, while adults swim laps, kids take lessons and divers enjoy a scuba lesson. In the summer the pools are a bustling hive of activity, an outdoor community center that brings people of all ages together in a fun-filled and relaxing atmosphere. The pool house is clean, and warm and safe and a comfortable environment for people of all ages and skills.

The park is a microcosm of the variety of microenvironments that make Southern California such a geographically and environmentally rich region of the world—it is a showcase for what is unique and magical in California living. Deciduous trees such as sycamore and jacaranda are mixed with indigenous oaks and cypress. Shade is abundant. Grasses of all kinds are mixed with flowering shrubs and ground covers. Paths are lined with trees and thread through and around clearings of a variety of scale and character accommodating all sorts of formal and informal activities. The diversity of the landscape reflects the diversity of the City's people and the rich combination of expectations they have for this commonly shared living room that is West Hollywood Park.



*West Hollywood park is alive and is a vital part of the city, because of its variety of activities, the diversity of its people and the spectrum of uses over the span of a day and night throughout the year. It is and must be all things to all people-- a town square, the village green, a place to promenade, a place to meet up with a friend, a recreational resource for the whole family at every stage of life.*



## The West Hollywood Park Master Plan

### Overall Organization

The park, the library, recreational and parking have been arranged to maximize the area of uninterrupted open space with grass and trees on the West Hollywood Park site. This has been accomplished by consolidating buildings at the southern end of the existing park on a unified site that has been assembled with the combination of existing park property (the tennis courts) and the appropriation of city-owned property (El Tovar Place and the Werle Building), county-owned property (the El Tovar Maintenance Yard and the Ron Stone clinic properties) and two privately owned properties along Robertson Boulevard. The northern boundary of this building site coincides with the north edge of the existing south parking lot and the north face of the blue building of the Pacific Design Center across San Vicente Boulevard.

The decision to consolidate the library, recreational facilities and parking into vertically integrated structures is predicated on obvious preexisting conditions of the site's context: 1) the height and bulk of the Pacific Design Center; 2) the lower elevation of the grade at the southern end of the park site which helps to minimize the impact of the heights of structures on the park and surrounding neighborhoods; and 3) the opportunities for vehicular access to the site from three of the four surrounding streets, San Vicente Boulevard, Melrose Avenue and Robertson Boulevard. Consolidation and vertical integration of facilities liberates the remainder of the existing park site for open space.

### The Park

**Maximization of passive park open space--grass and trees-is the highest priority of the master plan.** This has been accomplished through the following means:

- *Removal of community and recreational facilities (the library, aquatic facility, auditorium and basketball courts, restrooms and tiny tot building) from the center of the park*
- *Removal of the bleachers, backstop, fences and outfield screen of the softball field; and removal of the control tower and its appurtenances. (The new plan calls for a meadow, sized to accommodate an informal game of softball)*
- *Removal of the north parking lot.*
- *Removal of extreme slopes, retaining walls and stairs and ramps from the center of the park, and the raising and leveling of the south end of the park.*
- *The narrowing of the San Vicente Boulevard right of way eastward thus expanding the park boundary eastward into the current right-of-way.*

The narrowing of San Vicente achieves apparent expansion of the park across the street, visually incorporating the renovated PDC plaza, thus heightening the perception of expansive open space. Strategic landscaping along San Vicente will serve to unite the two sides create the sensation of driving, riding or walking through the park going north or south on San Vicente rather than passing along side it. Visual and pedestrian connections to the surrounding areas are strengthened with the creation of generously scaled piazzas at the north and south ends of San Vicente Boulevard (at its intersections with Melrose Avenue and Santa Monica Boulevard), enhancement of the connection to Robertson Boulevard through the southwest corner of the park and the reworking of the Robertson grass area.

### Access, Circulation and Parking

The arrangement of the park, library, recreation facilities and parking maximizes accessibility to them via a wide variety of modes of mobility. Foremost among them is the pedestrian circulation system which consists of perimeter walks, meandering paths and promenades relating parts of the park and the facilities to each other and to the surrounding pedestrian network. Important cross-park connections are made at the north side of the unified building site linking the PDC plaza with Robertson Boulevard and along the north side of the park linking the Robertson grass with the intersection of San Vicente and Santa Monica Boulevards. Public transportation, buses, shuttles and vans will be accommodated at three stops along San Vicente with easy transition to all areas of the park, library and the recreation facilities. Additional opportunities for stops are at the south end of Robertson Boulevard and at the north end at Robertson grass; the open lot on the north side of Melrose just east of the intersection with Robertson is also an opportunity for a transit stop. **The maximization of access to the park on foot and via public transportation is a high priority.**

A significant component of the park plan is the accommodation of vehicular access and parking because the parking component must address a wide variety of pressing needs of the City; and, it must do so by accommodating potentially conflicting interests. The plan calls for the elimination of on-street parking along San Vicente (62 spaces) and the three surface lots on the existing park site (131 spaces). A total of 193 parking spaces are to be removed. In this illustration three structures will be constructed in three phases on the unified south building site accommodating a total of 460 spaces: 1) a single level 70-car structure for library parking; a two-level 156-car structure beneath the aquatic facility and a three level 234-car structure underneath the recreation center. Ingress and egress are afforded at both San Vicente and Robertson Boulevards and the three structures linked together by a drive extending across the site.

**Alternate parking configurations are illustrated in Appendix II, pages App II- 31-42.**

Accommodations of access, circulation and parking of bicycles is also incorporated into the master plan.

### **The Library**

The location of the new library is a primary influence on the direction and configuration of the master plan. The selected site at the southeast corner of the park gives the library optimal orientation (facing north), proximity to parking, an intimate relationship with the park as well as visibility from Santa Monica Boulevard, San Vicente Boulevard and Melrose Avenue.

The site is presently occupied by the county-owned Ron Stone Clinic and its parking lot, and part of the city-owned south parking lot. The library occupies the upper two floors of a three-story building with an attached one-level, ground floor, partially subterranean parking facility for 70 cars. The ground floor of the building consists of the driveway to the drop-off and parking structure, a service and loading dock for the library; vertical circulation and approximately 5300 SF of flexible space facing onto San Vicente Boulevard at sidewalk level that could be used for community meeting space, commercial uses and/or future library expansion.

The second floor of the building is one level above San Vicente and is at grade with the new park. This condition has been achieved by extending the park over the roof of the parking structure maintaining the elevation of the area of the park at its midpoint around the children's playground areas. ***The main floor of the library is the second level of the building at park level and easily accessed from both the park and from San Vicente Boulevard.*** The library is arranged in two stories, with functions such as the circulation desk, literacy center, children's section and public meeting rooms at park level and reference, nonfiction and special collections at the upper level. A rooftop outdoor room with a fireplace overlooks the park and the hills beyond and is available for a variety of community meeting functions.

### **The West Hollywood Aquatic Center**

In this illustration, the aquatic center is a two pool arrangement on a deck in a courtyard situated between the library on the east and the recreation center on the west. The pools are built over two levels of structured parking to be constructed simultaneously. The pools sit at an elevation that is slightly elevated above the park level; and relate to the park both visually and functionally with broad graciously proportioned steps that connect the park and the pool facility. ***It was paramount in the planning of the aquatic center that it have a direct and tangible relationship with the park. See Appendix II, pages App II-37-40 for alternate configurations.***

The pools are designed to fulfill two different purposes. A rectangular 25-yard by 25-meter pool will serve the Masters Swim Team, age group swimming and adult lap swim. Conceived primarily for exercise, training and competition this pool is envisioned to be in use continuously from early morning through late evening seven days a week. It will be maintained at a temperature appropriate to such uses. The recreational pool is more flexible in design and will accommodate a variety of uses for all age groups including water slides, zero-depth areas and splash fountains, deep water classes such as scuba diving and shallow water classes such as aerobics and small children swimming lessons. This pool will be maintained at a higher temperature appropriate to its uses.

Both pools are served at deck level with a pool house that includes generous dressing rooms and offices situated between the pools and the park to the north. The west wall of the pools' courtyard is formed by the east end of the three-court gymnasium that is the centerpiece of the West Hollywood Recreation Center.

### **The West Hollywood Recreation Center.**

The Recreation Center consists of 52,000 SF of multipurpose rooms for a variety of recreational and community uses. Its centerpiece is the three-court gymnasium capable of supporting three basketball games simultaneously as well as volleyball and other team sports and activities. In this illustration, the east wall of this room opens out onto the deck of the aquatic facility. Other facilities include a fitness center, multipurpose rooms for such activities as dancing, music and acting and multipurpose meeting rooms sized to allow for City Council, Planning Commission and other public meetings. The public meeting rooms face onto the park and onto Robertson Boulevard. The roof of this facility is host to three tennis courts and two basketball half-courts. The facility is itself built over a three level parking structure that completes the three phase build out of parking facilities.

***See Appendix II, pages App II 37-40 for alternate configurations.***

With the completion of this facility a fully integrated and comprehensive community oriented recreational complex anchors the south side of the park giving life to the park and strengthening its role as the cross roads of the community. The library, aquatic center, recreation center and parking structures will attract users from every facet of the diverse West Hollywood community and solidify the park's role as the living room of the City.





*The West Hollywood Park Illustrative Plan in Context. The plan maximizes relationships to the surrounding neighborhoods and commercial corridors.*

### The Fundamentals of the West Hollywood Park Illustrative Plan

The driving force behind the development of the park plan was the removal of existing facilities from the heart of the park in order to make way for expanded, integrated and uninterrupted open space with grass and trees. Expanded recreational and community facilities and parking are accommodated on a consolidated building site at the south end of the park. Openings into and out of the park are maintained and enhanced at every opportunity and especially at each of its four corners. Promenades and paths are arranged to maximize connectivity with the surrounding neighborhoods and commercial corridors and to integrate the park with the City's pedestrian and bicycle circulation network. San Vicente Boulevard is narrowed and translated eastward approximately 18-0 in order to increase the park's width and to unite the two sides of the boulevard, thus enhancing and strengthening the presence of the park in this highly urbanized area of the City.

*This plan is for illustrative purposes only and demonstrates only one of many interpretations made possible by the West Hollywood Park Regulating Plan. See Appendix II, pages App II 25-26 for a detailed description of the regulating plan, and AppII 37-42 for alternate interpretations of the regulating plan.*

1. A total of 5.23 acres of uninterrupted grass and trees including playground areas and tree-lined promenades compared with only 1.86 acres of park open space in the existing park.
2. A two level 32,000 SF library facility ( Within a three level 48,000 SF structure) to replace existing 5,000 SF facility
3. A total of 460 new parking spaces in three structures to replace 193 existing parking spaces for a net gain of 267 spaces.
4. Two (2) rooftop swimming pools to include a 25 meter X 25 yard swimming pool and an open recreation and instruction pool.
5. A 52,000 GSF recreation and community center with park support facilities to include three (3) indoor basketball courts and multi-purpose meeting and recreation rooms of various sizes for various uses.
6. Three (3) roof top tennis courts and two (2) rooftop basketball half-courts.
7. Children's playground areas and tot lot.
8. Re-zoned commercial property to accommodate a public piazza at intersection of San Vicente and Santa Monica Boulevards.
9. San Vicente Boulevard narrowed and moved eastward with the removal of the on-street parking lanes on both sides.
10. Temporary outdoor basketball court and volleyball court to be replaced in the long term with mixed-use development with commercial frontages (cafes, retail) facing onto the park.



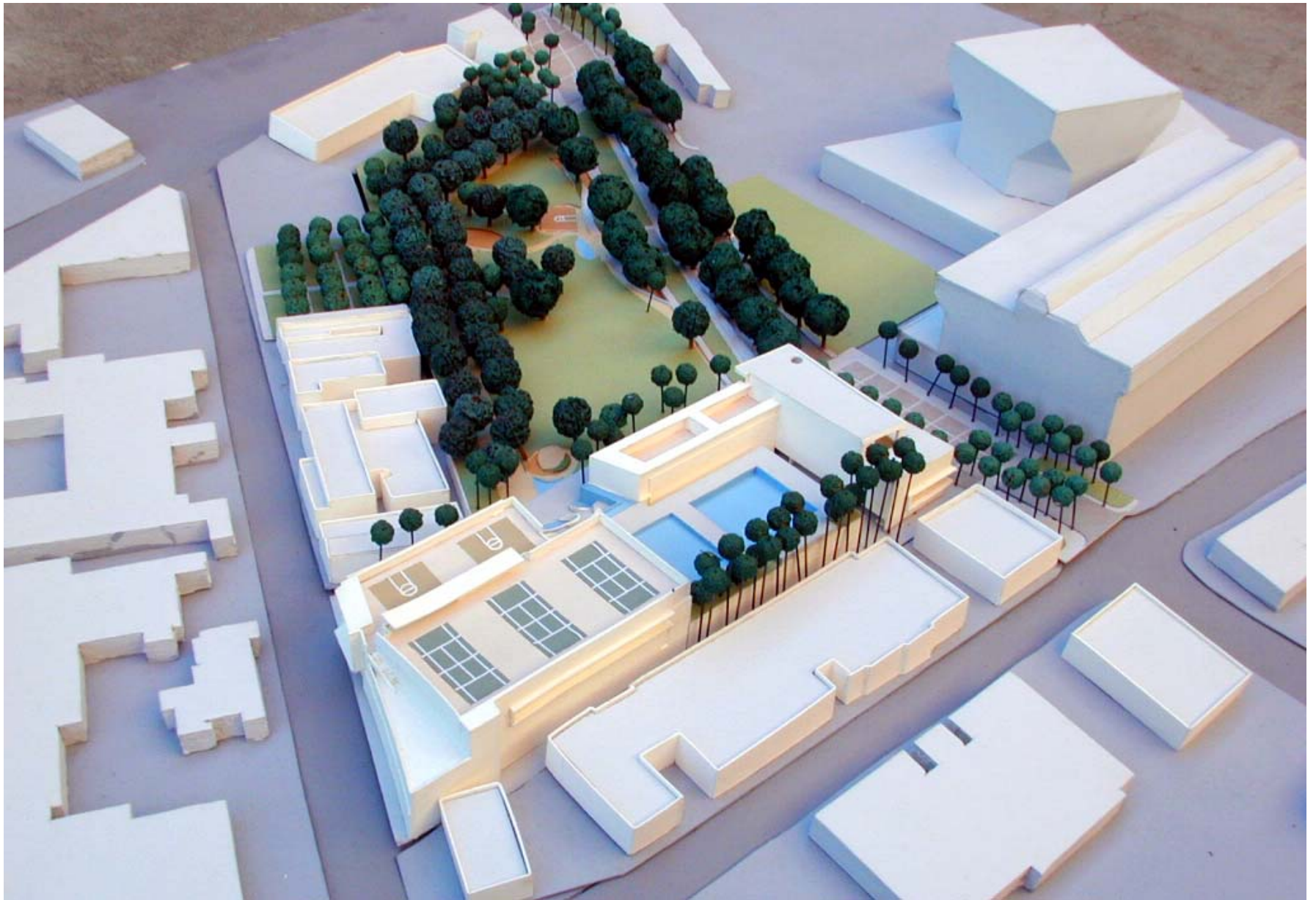
The West Hollywood Park Illustrative Plan.





*View of the Park as Transformed in the Master Plan. The intersection of San Vicente and Santa Monica Boulevard is in the foreground. Note the important visual and functional connection between the park and Santa Monica Boulevard, and the prominence of the library in this relationship.*





*Aerial View of the Park as Transformed in the Master Plan. Melrose Avenue is in the foreground, Robertson on the left, and San Vicente on the right. Community and recreation facilities and parking are consolidated into a unified complex at the south end of the park.*

## **The New Park**

The expanded and unified West Hollywood Park combines the positive attributes of uninterrupted park open space--grass and trees-- with the benefits of a hierarchy of differentiated and articulated spaces within. The expanse of green space is necessary to achieve the feeling of a tranquil city park, removed from the bustle of the surrounding urban neighborhoods, while the articulations serve to create a series of spatial experiences of varying scale, character and uses. The heart of the park, or upper park, lies within the boundaries of the three promenades (north, south and west) and San Vicente and the lower park to the east. The upper park consists of the large meadow, scaled to accommodate softball games, but without bleachers, fences and equipment to allow for maximum flexibility in use (touch football, soccer, frisbee, flying a kite). A network of paths creates a series of smaller meadows and the children's playground areas--one for tiny tots, one for young children separated by a picnic area with benches for the parents--just south of where they are in the existing park. This area of the park could also accommodate sandy areas for informal volleyball or exercise equipment.

Bordering the upper park on the north, south and west are generously scaled, paved promenades lined with trees with large enough canopies to provide ample shade. These promenades are linked with Santa Monica Boulevard via the north piazza, Melrose Avenue via the south piazza and Robertson Boulevard via the Robertson garden. They are arranged to give maximum relationship between the park and the surrounding pedestrian network, and especially the newly created promenades flanking Santa Monica Boulevard. They allow for a "stroll through the park" without interfering with the play areas at the interior. They serve to buffer the heart of the park from the potential commercial frontages on the west and north sides and from the library, recreation and community facilities on the south side. The south promenade crosses San Vicente Boulevard to the east and terminates in the Pacific Design Center Plaza thus linking the park with the PDC's outdoor amphitheater; it terminates to the west at Robertson Boulevard thus enhancing access to the park from areas at the southwest.

The Robertson Garden is conceived as a public garden with cultivated planting beds, benches and trees forming a kind of pocket park that gives visual and functional relief to this vital commercial street, as well as access into the heart of the park. The lower park drops with the slope of San Vicente Boulevard and is mainly formed by the translation of the San Vicente right-of-way eastward. In this way some of the existing park's most valuable trees are conserved, and a clear visual and pedestrian axis is formed linking the library and the north piazza at the San Vicente Boulevard/Santa Monica Boulevard intersection. The San Vicente right-of-way is narrowed (by removing two parking lanes) and lined with large trees with very large canopies thus tying together the two sides of the street and unifying the park and the PDC plaza. The experience along San Vicente is, thus, one of moving through a park rather than along side one. The north and south piazzas are conceived as large paved courts flanked with tall palms functioning both as vehicular vestibules to San Vicente and the park and as potential public spaces for special events.



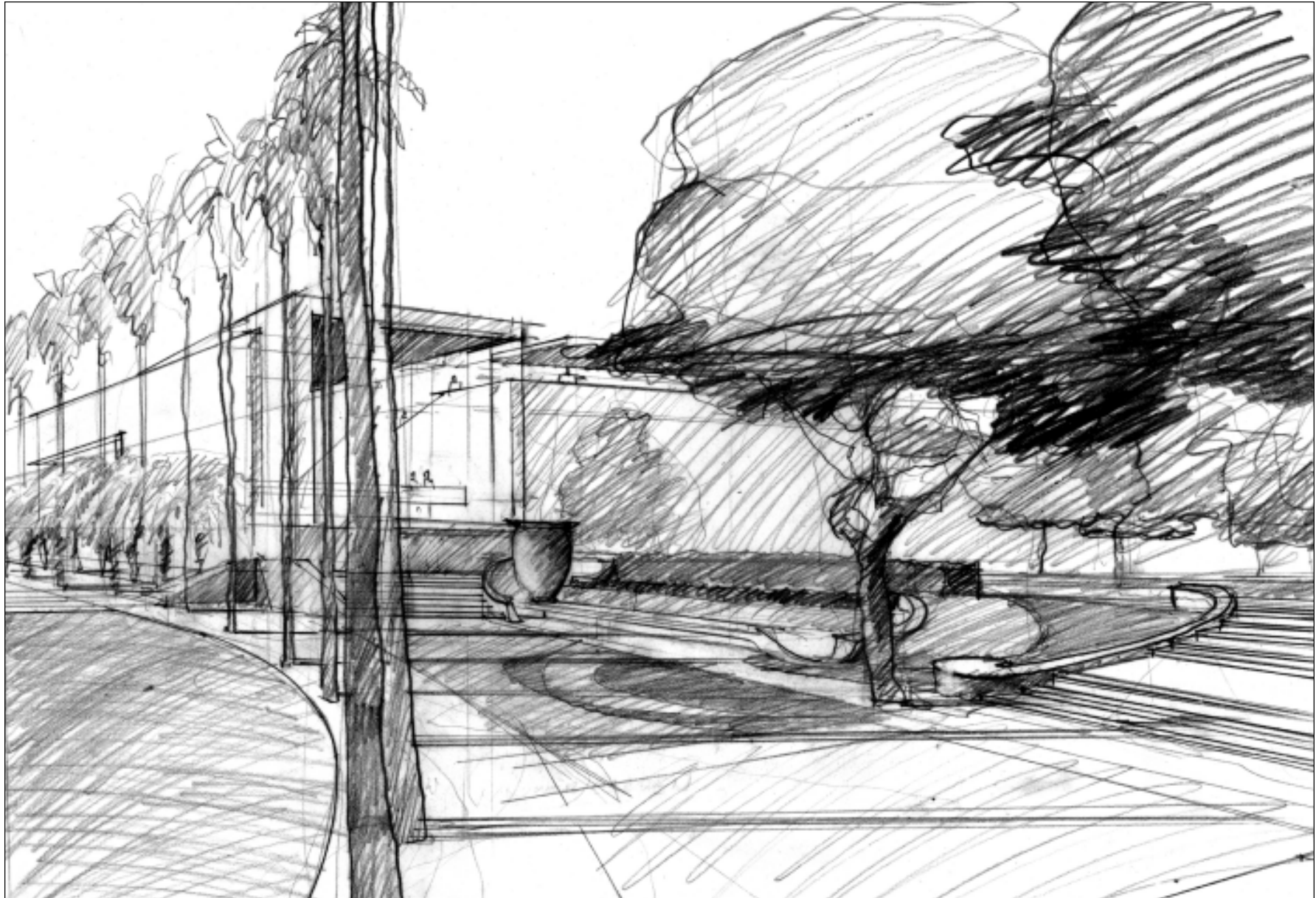
*The New Park in Context.*

- 1. The Upper Park**
- 2. The Children's Playgrounds and Tot Lot**
- 3. The Meadow**
- 4. The South Promenade**
- 5. The West Promenade**
- 6. The North Promenade**
- 7. The Robertson Garden**
- 8. Temporary Basketball and Volleyball Courts**
- 9. San Vicente Blvd and the Lower Park**
- 10. The South Piazza**
- 11. The North Piazza**
- 12. The PDC Amphitheater and Plaza**





*The New Park*



*View of West Hollywood Library and the Lower Park. San Vicente Boulevard is on the left the upper park on the right.*



*View of West Promenade from the Upper Park. The Robertson Boulevard commercial properties are on the right; the library is in the background to the left.*



**The Creation of Expanded Park Open Space**

One of the City of West Hollywood’s highest priorities is the expansion and enhancement of city-wide landscape and open space. West Hollywood Park is a key component of that goal; and the driving force behind the park master plan has been the maximization of open space--grass and trees. The key to achieving this has been the evacuation of recreational facilities from the center of the park and the creation of clear boundaries for the park; the key to maintaining the uninterrupted and coherent open space will be the on-going discipline to respect these boundaries into the future. The Robertson garden is planned as an adjunct to the main park area, a kind of vest-pocket park or public garden yielding visual and functional relief from the bustle of Robertson boulevard and providing the important connection from the street into the park. The north and west buffer areas protect the tranquility of the heart of the park and make relationship between the park and the surrounding commercial properties.

Importantly, the inclusion of the library, recreation and community facilities is seen as crucial to the vitality of the park and central to the overall experience there. In this way the park is a truly public or civic amenity, the focus of the community. The library, recreation and community facilities are accommodated on a consolidated building site at the south end of the park. This site has been assembled through the appropriation of two county-owned properties, the purchase of a privately-owned property, the use of two city-owned properties and the tennis courts and south parking lot of the park itself. This yields a building site of 2.36 acres or 102,800 SF upon which multilevel structures can easily fulfill the space needs of the planned facilities.

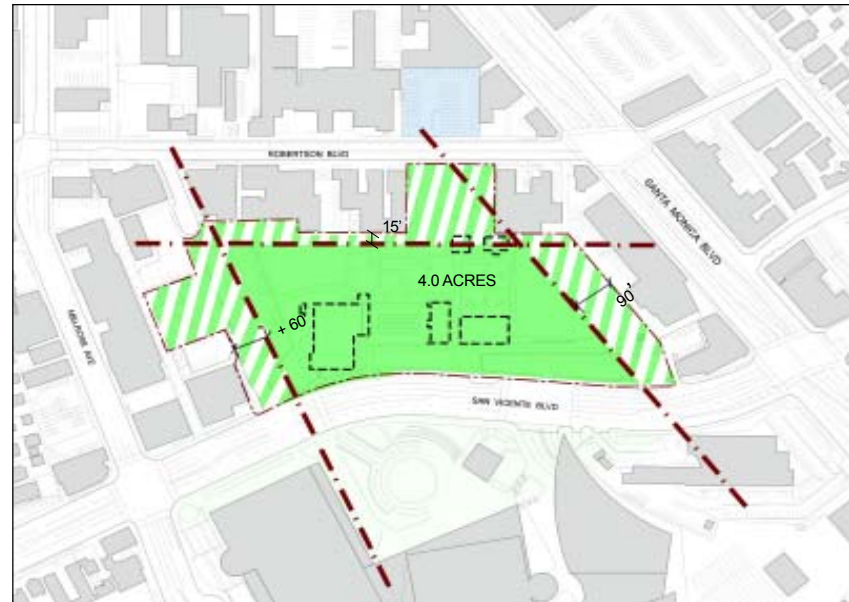
**The South Building Site**

Ron Stone Clinic.....	0.50 Acres
El Tovar Maintenance Yard.....	0.41
El Tovar Place.....	0.17
Werle Building .....	0.13
West Hollywood Park Tennis Courts and South Lot.....	0.89
Robertson Boulevard Commercial Properties.....	0.26

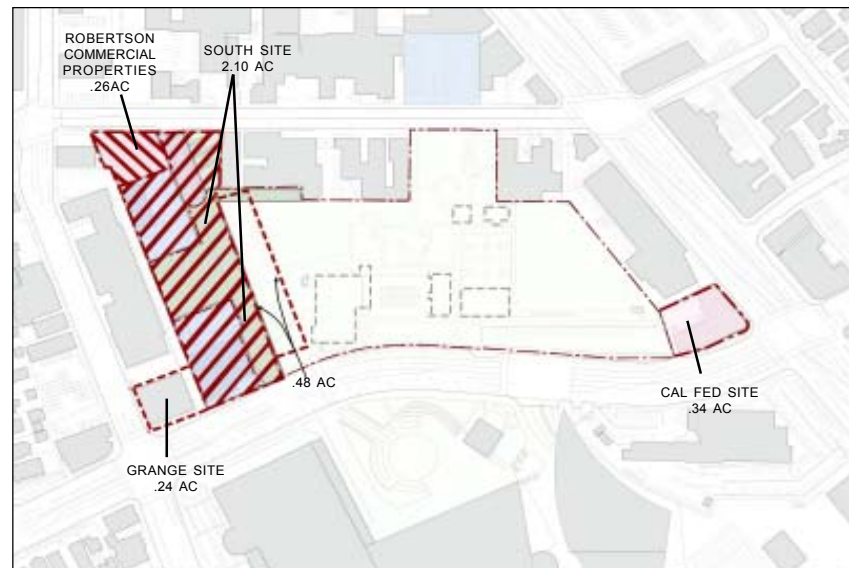
**Total Building Site Area at South End of the Park: 2.36 Acres**

**Additional Areas**

Below grade parking structure site.....	0.48 Acres
“Cal-Fed” Site .....	0.34
“Grange” Site .....	0.20

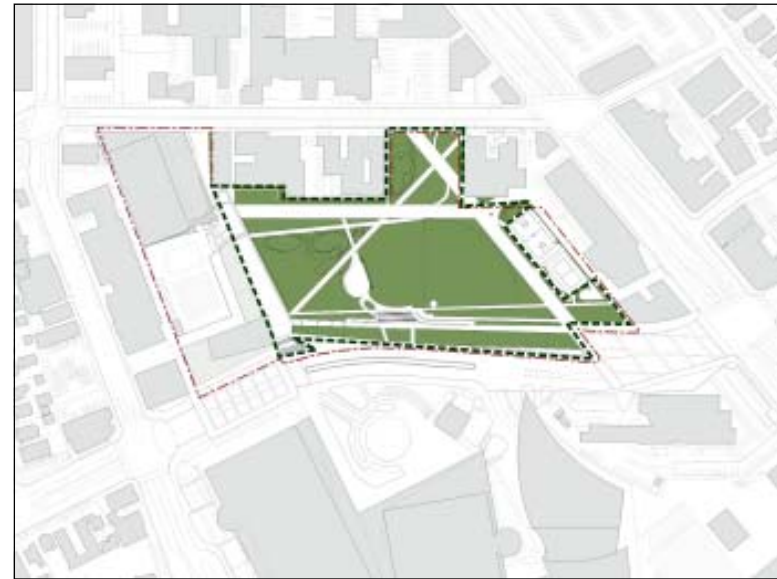


*The Park No-Build and Buffer Zones*






*The South Building Site .*

<b>TOTAL NEW PARK AREA</b>	<b>8.68 ACRES</b>	<b>100%</b>	
THE CORE PARK	5.23 ACRES	60%	



*The Proposed Park.*

<b>TOTAL EXISTING PARK AREA</b>	<b>6.59 ACRES</b>	<b>100%</b>	
THE CORE PARK	1.09 ACRES	17%	
LANDSCAPED AREAS	0.93 ACRES	14%	
THE BALL FIELD	0.91 ACRES	14%	
TOTAL	2.93 ACRES	45%	



*The Heart of the Existing Park.*

## Pedestrian and Vehicular Circulation

The system of paths, walkways and promenades of the park master plan is a crucial part of the planning of the park and a critical component of its layout.

**The Promenades.** The north, south and west sides of the park are flanked with wide partially paved promenades lined with large-canopy trees. These promenades serve several functions: they buffer the interior of the upper park from the surrounding commercial properties; they link the park to the surrounding boulevards so that the park experience is part of a larger city-wide pedestrian network; and they are places in themselves—a vital part of the park experience. The north promenade terminates at the piazza vestibule at the intersection of Santa Monica Boulevard and San Vicente Boulevard thus linking the park to the newly created promenades along Santa Monica Boulevard. The south promenade runs along the north side of the recreation/community facilities and links Robertson Boulevard through the southwest corner of the park to the library at the southeast corner of the park, across San Vicente and into the Pacific Design Center plaza. The south promenade functions as a kind of forecourt or threshold mediating the relationship between the recreation/community facilities and the park. The west promenade links the north and south promenades and forms the western boundary of the upper park.

**Upper and Lower Park, Robertson Garden and the Piazzas.** Within the upper park are smaller paths, probably not paved, that demarcate articulated areas within the park such as the meadow and the children’s play areas, the north clearing, etc. They also allow for a variety of ways to walk through the park in a meandering pattern. A series of steps on axis with the Robertson garden, flanked by gently rising handicap ramps make gracious transition from San Vicente Boulevard and the lower park up to the upper park. The lower park is thus essentially a promenade along San Vicente linking Santa Monica Boulevard to the library. Public transit stops are located at potentially three points: the north end of San Vicente, the midpoint at the steps to the upper park and at the south end at the entrance to the library. The Robertson garden and the piazzas at the north and south ends of San Vicente boulevard make the pedestrian connections to the surrounding neighborhoods; they are important “vestibules” to the park as one enters and exits.

**Vehicular Circulation and Parking.** Access by vehicle is concentrated at the south end of the park with entrances to the three parking facilities off of San Vicente Boulevard, Melrose Avenue and Robertson Boulevard. The smaller of the three structures is one level and situated below the park; it provides 70 spaces for the exclusive use of the library and gives easy access to the library at street level. In this illustration, the other two structures are two and three levels respectively and provide another 390 spaces for use by the library, the park and the recreation and community facilities. These structures will also serve the needs of the surrounding neighborhoods, especially the commercial establishments along Robertson and Santa Monica Boulevards. The park promenades are thus all the more important for their role in facilitating pedestrian access to and from the parking facility and destinations on the boulevards. In all the park master plan more than doubles parking at the park.



*Proposed Pedestrian Circulation.*

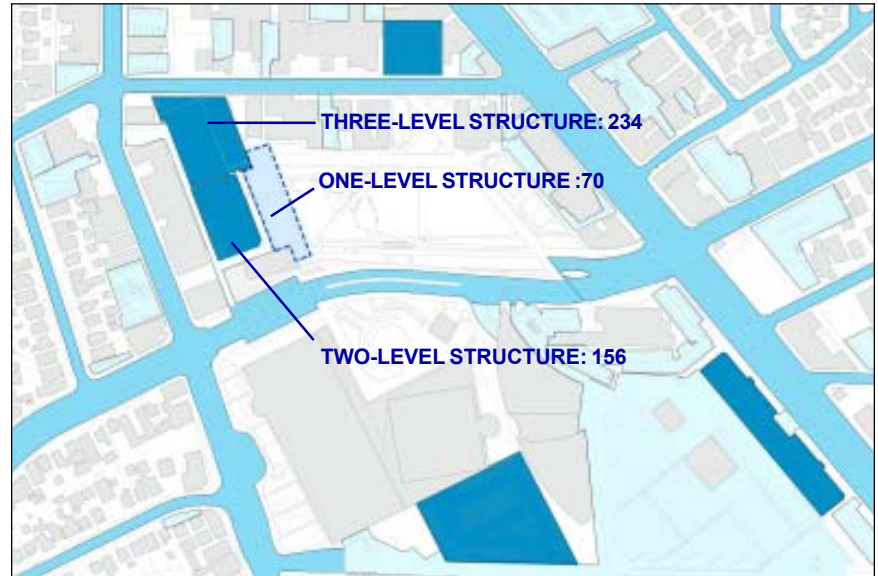


*Existing Pedestrian Circulation.*



**PROPOSED ON SITE PARKING**

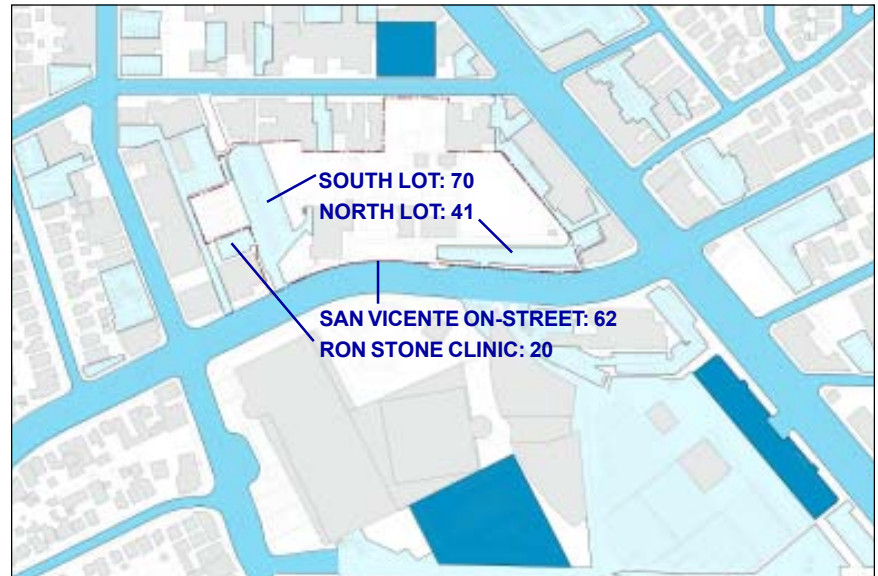
• Three-Level Structure	234 Stalls
• Two-Level Structure	156 Stalls
• One-Level Structure	70
• San Vicente Boulevard	0
<b>Total:</b>	<b>460 Stalls</b>



*Proposed Vehicular Circulation. (See Appendix II pages AppII 31-42 for alternate parking configurations)*

**EXISTING PARKING**

• North Lot	41 Stalls
• South Lot	70
• Ron Stone	20
• San Vicente	62
<b>Total:</b>	<b>193 Stalls</b>



*Existing Vehicular Circulation.*

## Parking

In addition to open space and recreational facilities parking on the west side of West Hollywood is a high priority need for the City. The park master plan includes a phased program of parking facility construction that in summation will double the supply at the park serving not only the park but also the surrounding commercial neighborhoods. These structures are ideal for “shared use” scenarios since a lot of the park functions occur during day hours while the commercial establishments create peak demand in the evening hours. In this illustration the parking component of the master plan unfolds as follows:

### Phase I: The Library Structure

With the construction of the library the first of the three structures will be put into place. This is a one story facility housing 70 spaces for the exclusive use of the library during its hours of operation. The structure is located at grade on the site of the existing south parking lot. The park level will be brought up over the roof of this structure thus removing one of the park’s most problematic weaknesses--the excessive slope of the area south of the childrens’ play areas.

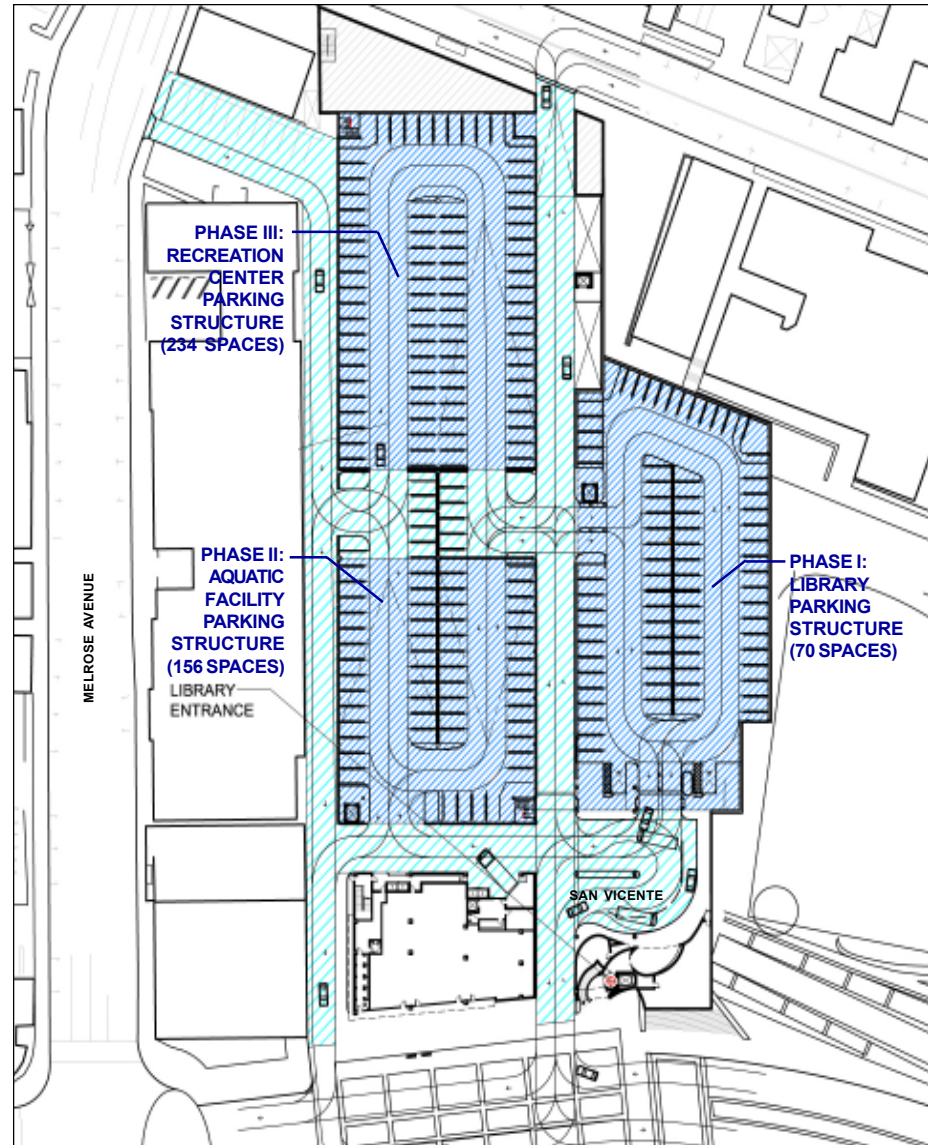
### Phase II: The Aquatic Center Structure

Just south of the library structure on what is approximately the site of the two existing tennis courts the second parking structure will be built in a two story format upon which will be placed the two pool aquatic center. Between this structure and the library structure is placed the vehicular drive which will eventually connect San Vicente and Robertson boulevards across the site. This structure will house 156 cars.

### Phase III: The Recreation Center Structure

The final piece of the parking plan is the third phase, three level structure placed west of the second structure. It is set back from Robertson Boulevard to make room for community facilities along the sidewalk. With the construction of this structure the cross-site drive is in place providing entry and exit from both Robertson and San Vicente Boulevards. This structure contains 234 spaces and will support the recreation center above.

*See Appendix II, pages App II 31-42 for alternate parking configurations.*



**Vehicular Circulation.** Access to parking on the south side of the park is accommodated from both San Vicente and Robertson Boulevards; secondary exit and entry is afforded along the alley behind the Melrose Avenue commercial properties.





*The South Building Site in the Existing Condition*



***Phase I: The Library Structure.** This structure is built on the south parking lot and becomes the plinth upon which is laid the new level of the park. It will accommodate 70 new spaces.*



***Phase II: The Aquatic Center Structure.** This structure will support the two pools of the aquatic center and house 156 spaces..*



***Phase III: The Recreation Center Structure.** The third structure will house 234 spaces and serve both the recreation center above and the surrounding neighborhood.*



## The Library

Anchoring the southeast corner of the park the library assumes a prominent position with a strong visual and functional relationship with both the park and the two major boulevards, San Vicente and Santa Monica. Intimately related to the park the library commands a presence suitable to its role as an important civic asset, without compromising the coherency and integrity of park open space.

### The Library's Relationship to the Site

The principal facade of the library and its entrance face north toward the heart of the park, Santa Monica Boulevard and the Hollywood Hills beyond. The height of the library relative to park level is two stories, thus minimizing its shadow effects on the south side of the park. The other important facade is that which faces east onto San Vicente Boulevard and through which primary vehicular entrance onto the site is afforded. This facade is three stories in height asserting a volume and presence of sufficient strength to balance the weight of the massive Pacific Design Center across the street. In this way the library building forms a coupling with the PDC as a kind of threshold or gate into the city upon entry from Los Angeles in the south along San Vicente Boulevard heading north.

Vehicles entering the site pass through the ground floor of the three-story face leading to one of three parking facilities, the one-level structure that runs along the south side of the park at the San Vicente level, the two-level structure underneath the aquatics center and the three-level structure underneath the recreation center. The vehicular entry and the three parking structures are linked along a continuous, straight two-way drive across the site. The one-level structure below the south end of the park contains 70 spaces and is dedicated entirely to library use. The vehicular turn around at this level is sized to accept public transit vans and handicap van drop-off as well as automobiles and is located conveniently adjacent to the San Vicente lobby with stairs and elevators to the main level of the library above.

The principal, north facing, facade is dominated by the picture window through which one is able to see into the main reading rooms of the library; views of the park and the hills beyond will form the dominant backdrop for the experience of the reading rooms. This picture window will glow in the evening hours as a kind of giant community lantern. To the east of the main window is the entrance to the library itself—an open-air vertically integrated atrium giving access via stairs and elevator to the San Vicente level one floor below park level. To the west of the main window are the community rooms opening both onto the park and into the library. The top floor of this wing of the building is an open air terrace with a fireplace an expansive overlook onto the park, the City and hills beyond.



*Model View of West Hollywood Library and the South End of the Park*



*West Hollywood Library in Context*





*View of West Hollywood Library as seen from San Vicente Boulevard and the Lower Park. The upper park lies to the right,, San Vicente to the left. The upper park and entrance to the library are one level above the lower park. The east facade and vehicular entrance to the library, parking and the recreational/community facilities front onto San Vicente Boulevard.*

**The Internal Organization of the Library**

The library is arranged in a three story format in order to take advantage of the topography of the site and its relationship to the park and to the Pacific Design Center. The main functions of the library are contained within the second and third levels only, with the lower San Vicente level dedicated to support functions. The main entrance, lobby and reception areas are at park level (the second level of the building).

**Lower Level**

This level is accessed from San Vicente Boulevard and contains the vehicular drop-off, public lobby, loading and service areas. The remainder of the lower level is set aside for community rooms, volunteers’ bookstore and/or future library expansion.

- Library Expansion
- General Building Services
- Main Communications Room
- Mechanical
- Parking Entrance
- Vehicular Drop-Off
- Volunteers’ Bookstore

**Park Level**

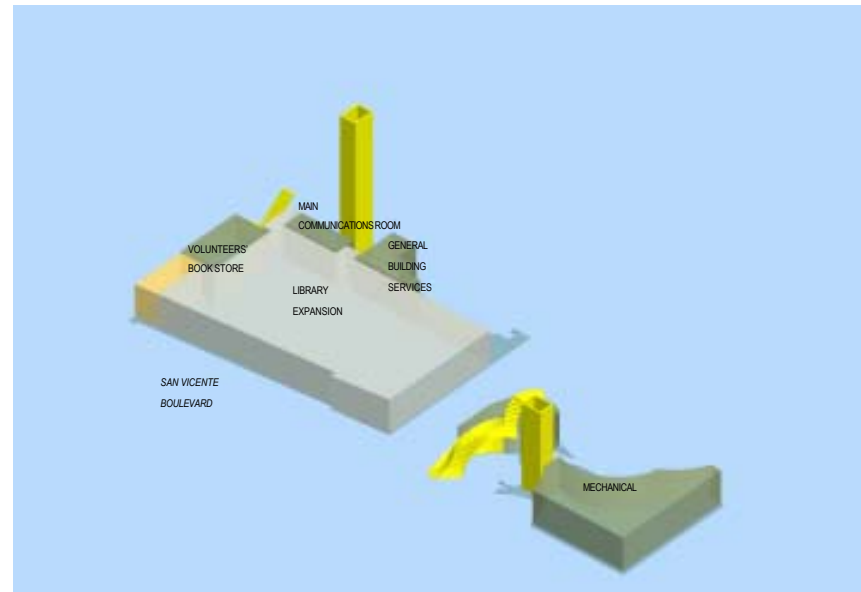
This is the main floor of the library and where entry is afforded directly from the park. This floor contains the more public functions such as circulation services, browsing and the public meeting rooms.

- Main Entrance
- Browsing Area
- Circulation Services
- Public Meeting Room
- Internet Express
- Children’s Library
- Copy Center
- Career Development Center

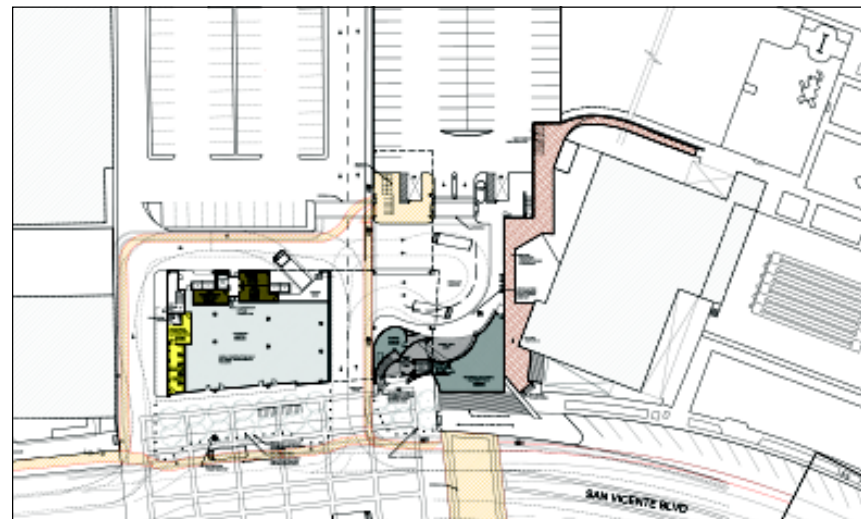
**Upper Level**

The heart of the library resides on this floor where the main collections are housed. From here the views of the park are most spectacular.

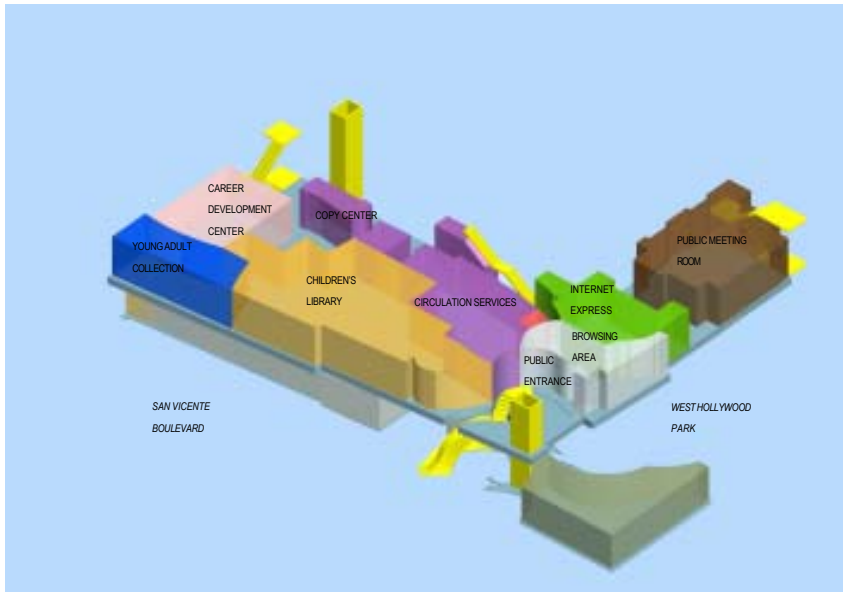
- Fiction Collection
- Reference Services
- Non-Fiction Collection/Seating
- Public Meeting Room
- West Hollywood Room
- International Language Collection
- Gay and Lesbian Collection
- Reading/Current Periodicals
- Staff lounge



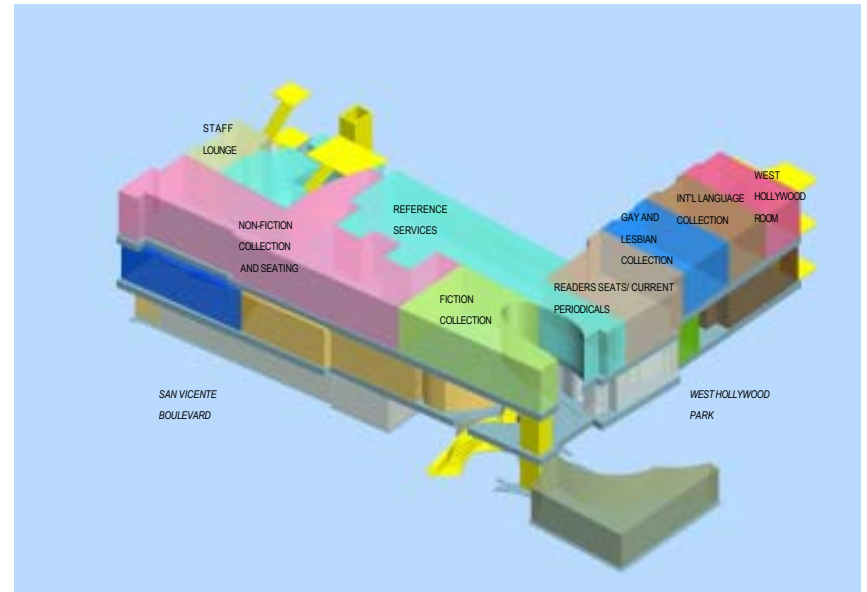
*First Floor Plan--San Vicente Level*



*First Floor Plan -- San Vicente Level*



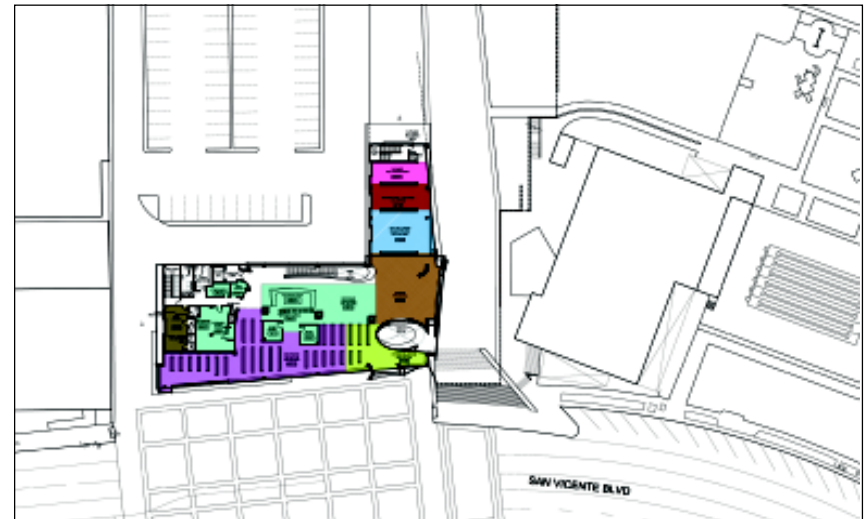
*Second Floor Plan--Park Level*



*Third Floor Plan--Upper Level*

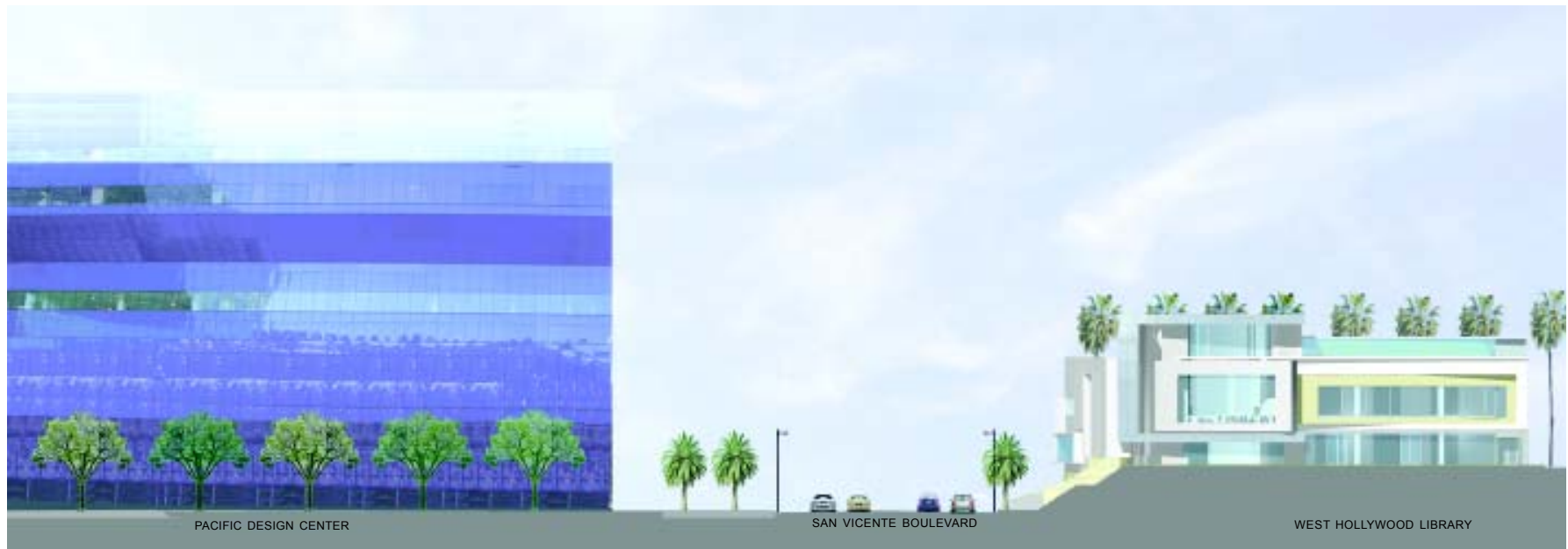


*Second Floor Plan--Park Level.*



*Third Floor Plan--Upper Level.*





*The North Elevation. Anchoring the southeast corner of the park the library's principal facade faces north into the park.*

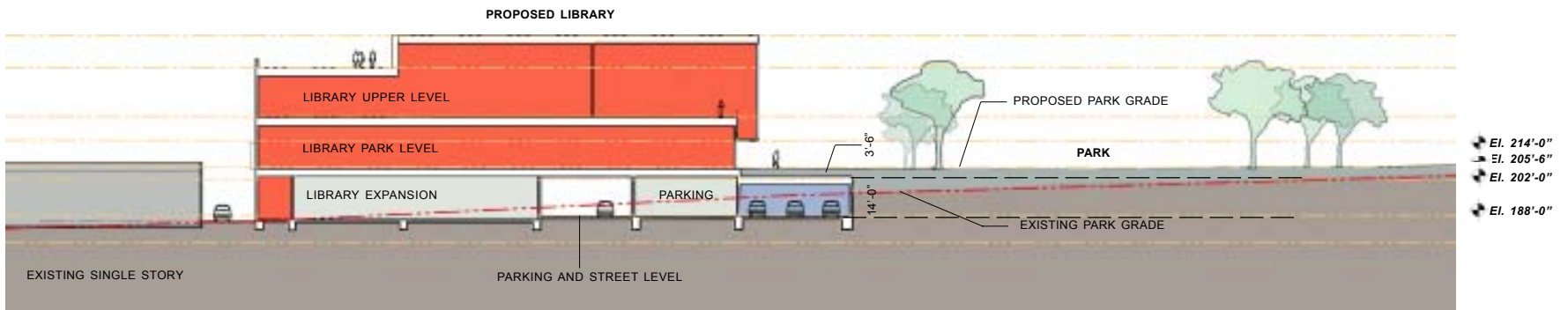


*The East Elevation. The library has a major presence on San Vicente Boulevard . The opening at the stree level is the principal vehicular entry onto the site.*

*The massing of the library building has been configured to balance the volume of the Pacific Design Center across San Vicente thus creating a portal to the city upon arrival along San Vicente from the south. Because the park at the southeast corner is a full story above street level, the massing of the library facing onto the park is more modest in scale minimizing detrimental effects on the quality of the open space there .*



*East-West Site Section Through Library Looking South*



*North-South Site Section Through Library Looking West.*

*These sections show the library as the first phase of the master plan in the absence of the Aquatics Center and the Recreation Center. The sections show that the library's main level and principal entry is at park level with vehicular entry, parking and library expansion space below. The surface parking lot shown in the section above is the site of the Aquatics Center and its parking structure.*

### The West Hollywood Aquatics and Recreation Centers

This is a two-part facility with the recreation center anchoring the southwest corner of the park in the way the library anchors the southeast corner of the park and the aquatics center assuming the position between the library and recreation center as a kind of outdoor room or open-air courtyard between the two facilities.

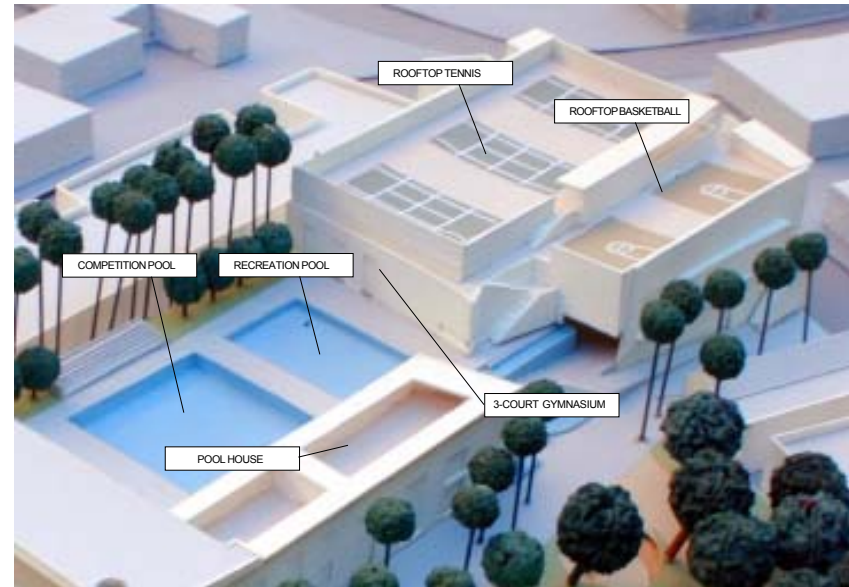
### The Relationship of the Aquatics and Recreation Centers to the Site.

The role of the park as a place of both repose and recreation has been central in the conceptualizing of the park master plan. The relationship of the recreation facilities to the park has been carefully considered with the aim of maximizing both visibility and an active, mutually reinforcing synergy between the life of the park and that of its recreation facilities. On the other hand, recreation facilities such as swimming pools and play courts require support facilities, equipment, fencing and hard pavement all of which can consume valuable park open space in a way which is detrimental to the equally important function of the city park as a place of visual and functional relief within a vital urban area.

In this scenario the aquatics center is placed to have an intimate relationship with the park and yet not intrude on the tranquility of the park setting. Situated on top of two levels of structured parking at the south end of the park between the library and the recreation center the deck level of the two swimming pools is approximately one floor above park level. Entrance is gained to the aquatic facility via a graciously dimensioned and easily navigated set of steps which are conceptualized as an extension of the garden quality of the park. This entrance is situated at the south terminus of the west promenade and is visually prominent from all points of view within the park; conversely its width and depth is calibrated to maximize visual relationship from within the facility outward to the park. To the east of the main entry steps (between the steps and the library) is a two story park support building designed as an extension of the west wing of the library, formed to complete the enclosure of the aquatics "courtyard" and mediate the relationships between the park and the swimming pools. This building is to be designed with maximum transparency to maintain views and visibility of the park from within the aquatic facility and vice-versa.

The recreation center forms the west side of the aquatics "courtyard" and faces onto both the park and Robertson Boulevard. Set above three levels of structured parking this facility in volume is by far the largest of the three; however, it is located in such a way as to minimize the impact of its volume on both the park, the surrounding properties and Robertson Boulevard. The main volume of the facility is the three-court gymnasium. A lower volume containing public multipurpose and meeting rooms is situated between the gymnasium and the park. Three tennis courts and two basketball half courts occupy the roof and have expansive views of the park, the city and the hills beyond.

*See Appendix II, pages AppII 37-40 for alternate configurations.*



*The West Hollywood Recreation and Aquatics Center Viewed from Above. The park is in the foreground and out of the picture to the right.*



*The West Hollywood Recreation and Aquatics Center in Context*





**Entrance to the Aquatics Center.** A generously scaled and shallow set of steps extends from park level at the southwest corner of the park to the aquatics center approximately one floor level above. Terminating the west promenade and punctuated with greenery and water features these steps are conceptualized as an extension of the open space of the park affording maximum visibility into and out of the aquatics center, and encouraging a mutually reinforcing relationship between the life of the aquatics center and that of the park.

**The Organization of the West Hollywood Aquatics and Recreation Centers**

In this illustration, the aquatics center and recreation center are conceived as side-by-side and yet independent facilities such that they could be built either together or in two phases. They are related in that the deck level of the swimming pools is flush with the floor of the three-court gymnasium. The aquatics center is built on top of two levels of structured parking while the recreation center sits on top of three levels of structured parking.

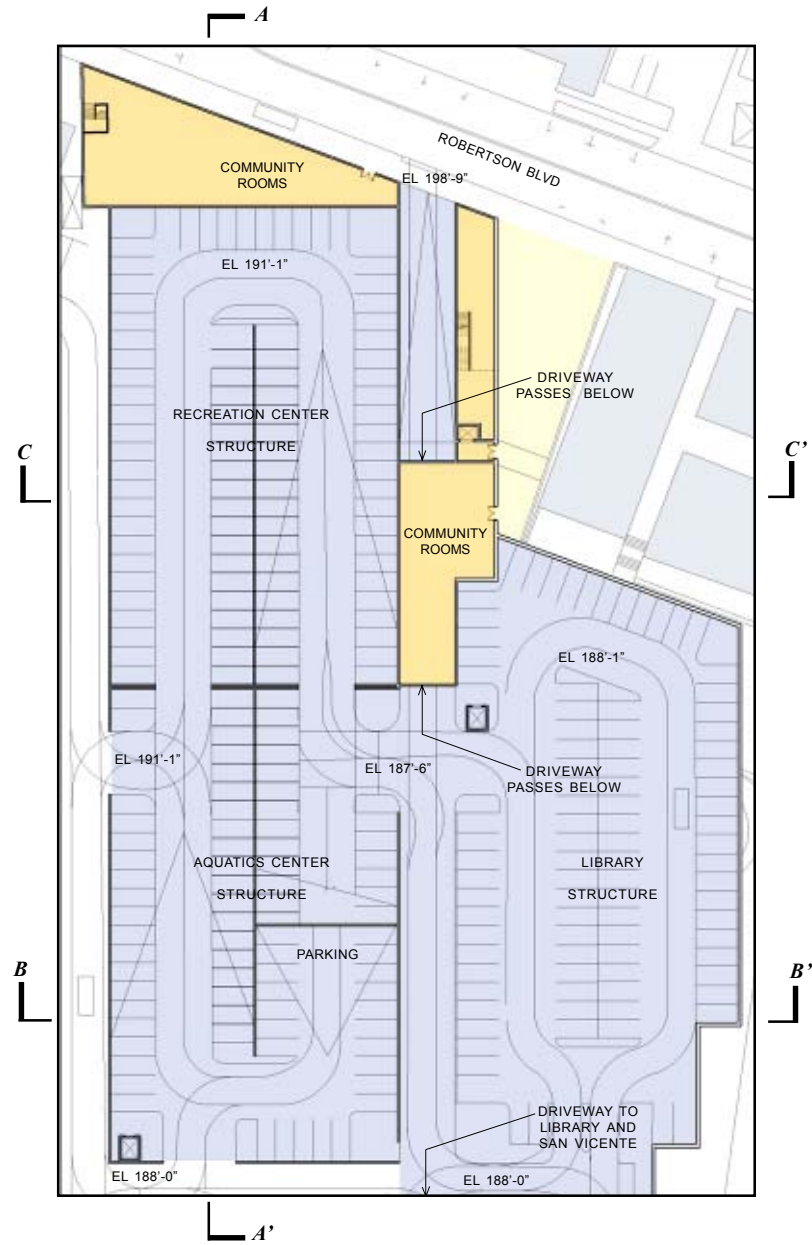
**The Robertson Boulevard Level** Ground level along the Robertson Boulevard frontage of the recreation center consists of multi-purpose community meeting rooms opening out onto the sidewalk punctuated with graciously scaled doors and windows at the sidewalk in order to continue and contribute the vibrancy and intimacy of the street life of this block of Robertson.

**Gymnasium and Pool Deck Level.** The three-court gymnasium is sized to allow for tournament basketball and volleyball play and is conceived as essentially a grand community living room. Its floor is level with the deck of the aquatics center and large doors and windows open out onto the pool deck along the gym’s west side. This allows for the gym space to function as a meeting place, dance hall, reception hall or performance space and the aquatics “courtyard” to function as patio, breakout space and outdoor congregational space when not in use as an aquatics facility. Along the north and west sides of the gymnasium are two floors of multi-purpose community meeting rooms which are sized and configured to accommodate a variety of functions such as ballroom dancing, council, commission and community meetings, music recitals, acting lessons, seminars and conferences.

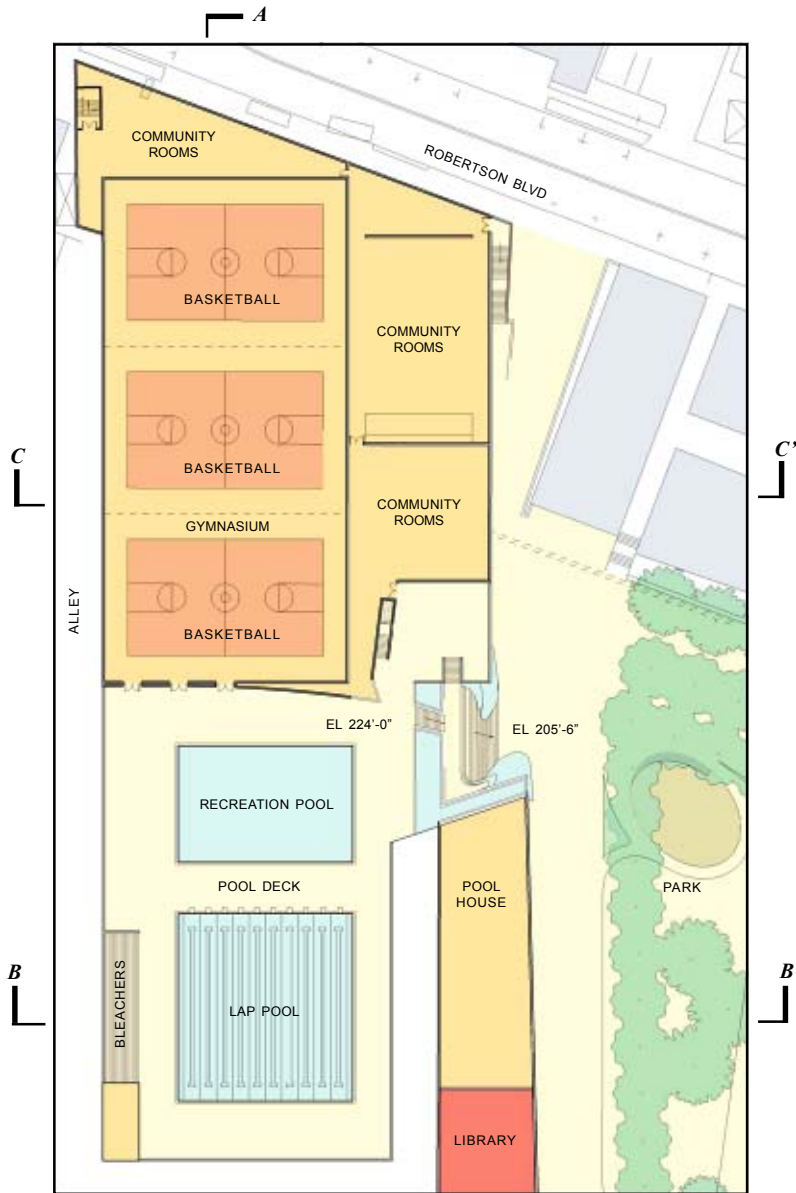
The aquatics facility consists of two pools with two different purposes. The larger of the two is 25 meters by 25 yards and dedicated to lap swimming, age group, team workouts, masters and other amateur competitions. The smaller of the two is approximately 18 yards by 25 yards and not necessarily regularly shaped as this pool is principally recreational in purpose with the possibility of zero depth, water slide and other features designed for tots, young children and teens. This pool will be used as well for senior aerobics classes, scuba lessons, and other less structured activities. The temperature needs of the two pools differ, the larger lap pool requiring cooler temperatures, the smaller recreation pool warmer temperatures. The park support facility along the north side of the pool houses the pool staff room, equipment storage and changing rooms. Below are the tiny tot facility, park offices and restrooms facing onto and serving the park.

**The Roof Level.** Three tennis courts are arranged on the high roof of the gymnasium and two half basketball courts on the lower roof over the community rooms facing out over the park.

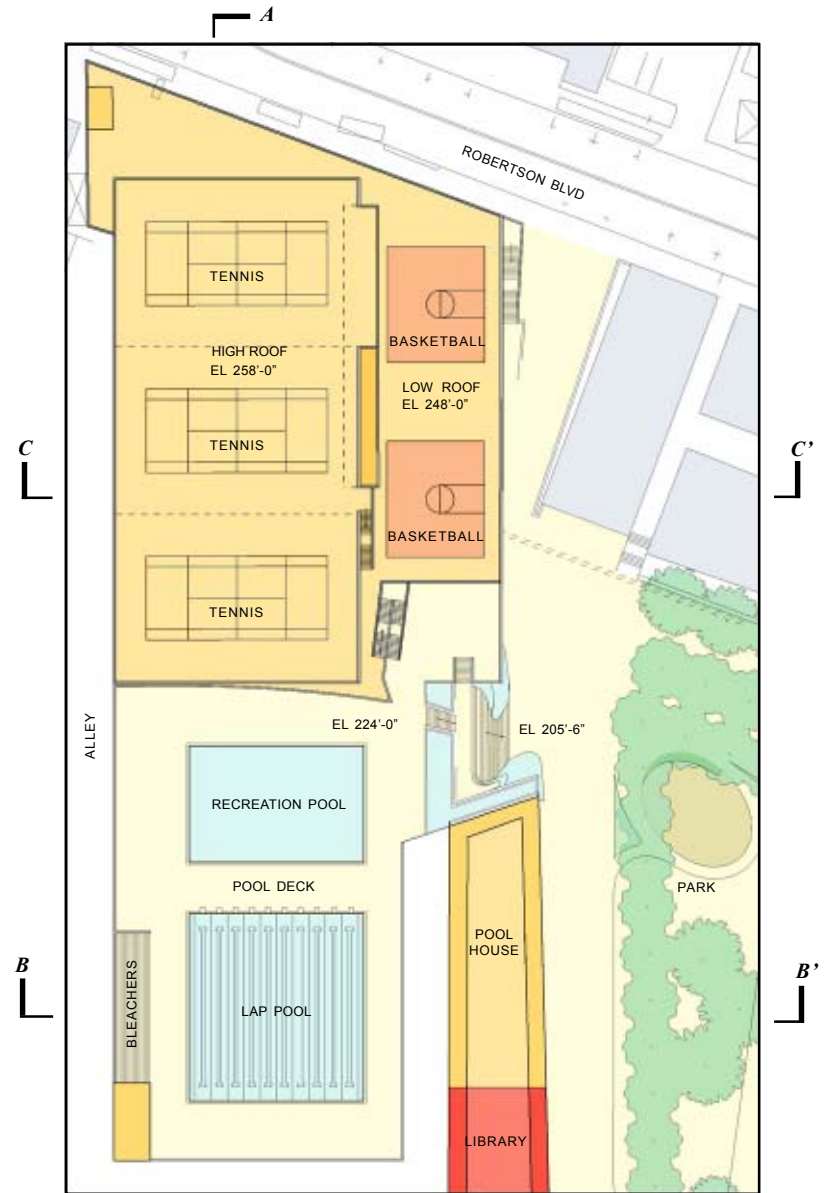
*See Appendix II, pages AppII 37 - 40 for alternate configurations.*



*The Robertson Boulevard Level. The parking beneath the recreation and aquatic centers links together to form a continuous facility. Community/commercial space faces onto Robertson at sidewalk level*

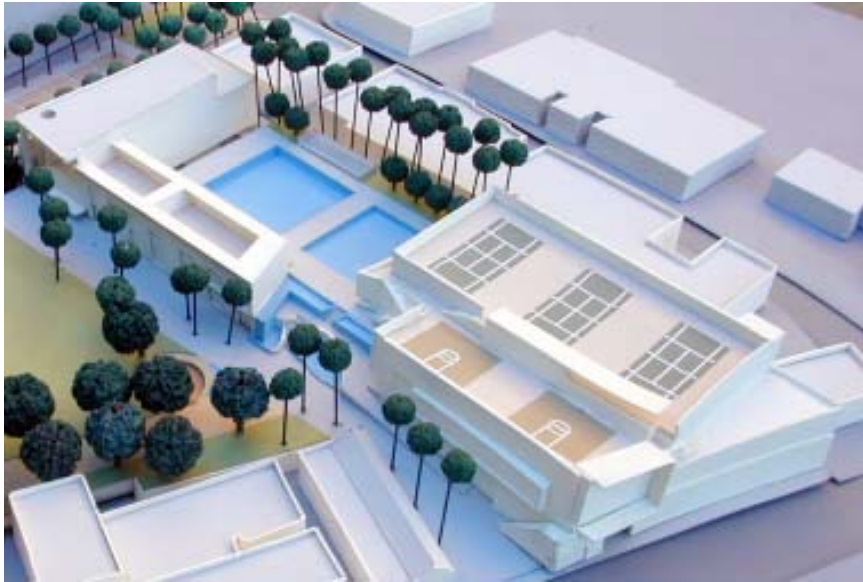


**The Gym/Pool Level.** The pool deck and gym floor align. This level is about 18-0 above the level of the park. A graciously dimensioned set of steps lead from the park to the aquatics facility maintaining open lines of site into and out of the pool area.

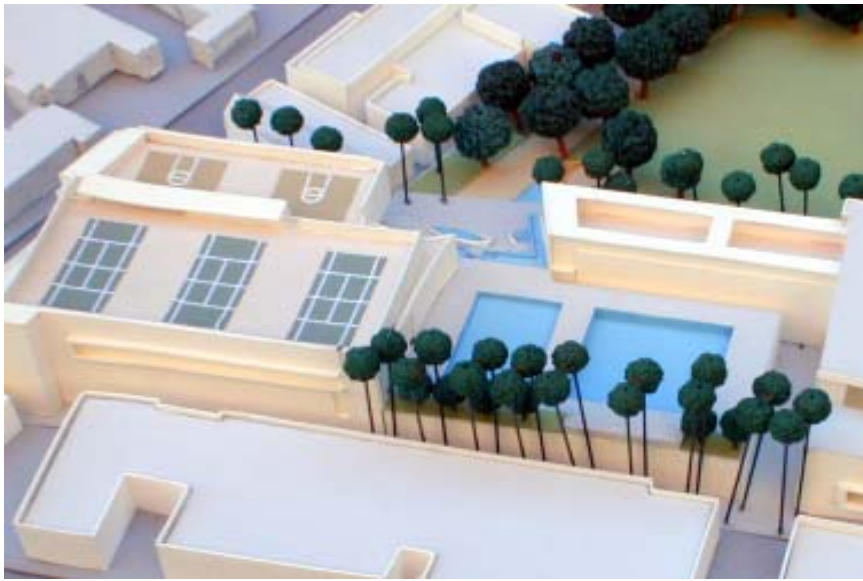


**The Roof Level.** Three outdoor courts occupy the roof over the three-court gymnasium; two basketball half courts over the lower roof overlooking the park. The outdoor courts are thus visually linked to the park while minimizing their impacts on the park's open space.





*The Recreation and Aquatic Centers. Robertson Boulevard and the Park are in the foreground, Melrose Avenue at the top, and San Vicente at the upper left.*



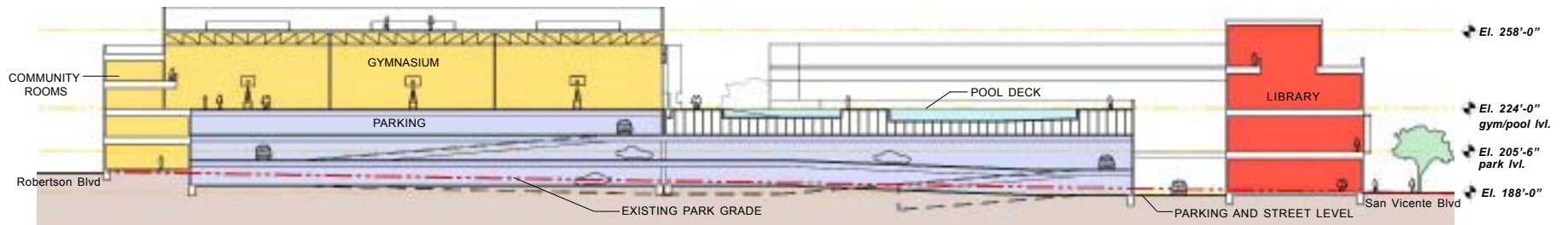
*The Recreation and Aquatic Centers. Robertson Boulevard and the park at the top, Melrose Avenue in the foreground.*



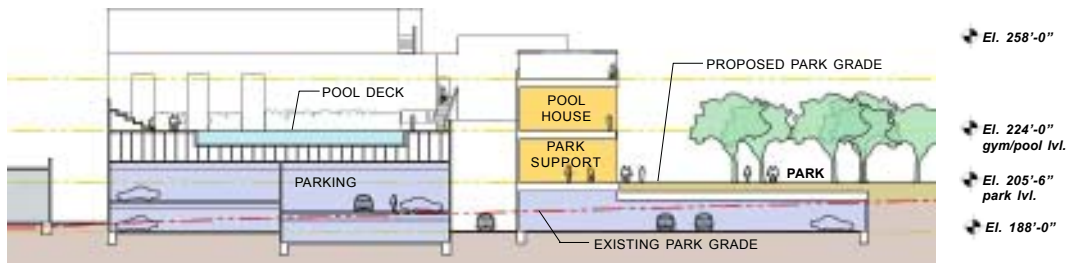
*The Aquatic Center. View looking north toward the park. The pool house is to the right in the background, the three-court gymnasium to the left in the foreground.*



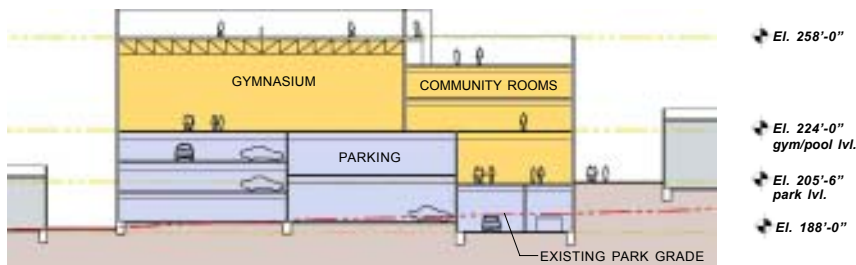
*The Aquatic Center. View looking toward the gymnasium, bleachers on the left..*



A-A' Longitudinal Section Looking North. The three-court gymnasium on the left, two pools in the center, library on the right..



B-B' Lateral Through Aquatic Facility. Note level of pool deck relative to park level.



C-C' Lateral Through Gymnasium. Tennis courts above, basketball courts on lower roof.

## **The Public Art Component**

The City of West Hollywood through its Urban Art Program is committed to supporting and nurturing the arts as well as promoting excellence in urban design. The City recognizes that the arts add vibrancy to civic life and contribute to the cultural enlightenment of its residents and visitors. The arts enrich the environment and quality of life, and can contribute substantially to the economy. West Hollywood Park is an ideal location within the City and opportunity to both demonstrate the City's commitment to public art and illustrate the means and methodologies by which powerful, integrated public art can enhance the sense of place and the quality of our shared experience of the urban environment. The integration of public art is a priority of the West Hollywood Park Master Plan and shall be instituted as part of the design process and final designs of each of the four major components of the master plan:

- **Park**
- **Library**
- **Aquatics Center**
- **Recreation Center**

## **Process**

The process for the selection of artists as part of the design team and for the creation of the art shall follow the guidelines outlined in the January 2001 City of West Hollywood Urban Art Policy Guidelines and additionally shall conform with the following:

- A synopsis of the intended role of the public art component in the design and the strategy for its integration in each of the four projects shall be described in the Request for Qualifications (RFQ) or Request for Proposals (RFP) for Architecture and Engineering Services for each of the four projects.
- The artist(s) shall be integral to the A & E team, work at the direction of the lead consultant and its art consultant and participate in the design process from conceptual design through construction documents. The art component shall be an integral component of all presentations to and approvals by the City at each stage in the design and approvals process.
- The City shall create a West Hollywood Park Public Art subcommittee whose purpose shall be to review and approve the selection of the artist(s) (as part of the initial design team selection process) to work with the A & E design team and the artist(s) on the integration of the art component, and give interim and final approvals on the art component throughout the process in accordance with the Urban Art Policy Guidelines.

## **Principles**

In addition to those criteria outlined in Section C "*Review Criteria and Requirements for On-Site Art*" of the Urban Art Policy and Guidelines the public art within West Hollywood Park shall conform with the following principles:

- The art shall support the park, library, aquatics center and recreation center designs in concept and detail and shall integrate fully with the building and landscape architecture.
- The art component shall be focused rather than dispersed in order to maximize its visual impact and contribution to the overall design of each of the park components.
- The overriding priority of the West Hollywood Park master plan has been the maximization of uninterrupted open space with grass and trees as both visual and functional relief from the surrounding urban environment. Therefore, the art component shall be site specific and environmentally oriented rather than object oriented.
- The art shall contribute to a sense of tranquility in the park and the library and a sense of joy within the aquatics and recreation centers.

## **Product**

- Within the park areas of opportunity include manipulations of the topography or ground plane such as steps, terraces, low walls; the design of ground surfaces in the areas material, texture and color; the incorporation of water; natural and artificial light; and landscape design such as ground covers, shrubbery, trees and their canopies.
- At the library public art could be integrated with the fenestration concept, the array of permanent furniture and/or fixtures; interior finishes; lighting fixtures or the light itself; it could be part of the book storage system or the cataloguing system.
- At the aquatics and recreation centers the public art could be a part of the overall lighting concept, it could integrate conceptually and materially with the water; it could be part of the floor design or ceiling design of the gymnasium or the fencing at the outdoor courts on the roof; the art could assume the form of video or digital media projection on the large vertical surfaces of the facilities.





*The art in the park and the landscape of the park could be one and the same, in this case rows of rosemary hedges forming a labyrinth. (Author Unknown)*



*Manipulations of the ground surface are a potentially powerful way to integrate the public art component into the design of the park. (May Lin, University of Michigan, 1995)*



*The art within the library could be minimalist in nature, perhaps becoming, integrating or contrasting with the interior casework or furniture. (Donald Judd, Marfa Texas, 1982-6)*



*Something magnificent might be achieved in the incorporation of lighting effects as part of the public art program within the library. (Dan Flavin, Munich, Germany, 1998)*

### **The Long Term Vision for West Hollywood Park and Environs**

The master plan is conceived in the context of a larger and more long term vision for the park and its immediate neighborhood in such a way that those moves made in the short term in fulfillment of the mandates of the master plan ---the consolidation of recreation and community facilities, the expansion of park space, the articulation of edge conditions-- create conditions for further expansion of park space and intelligent development at its boundaries.

### **Westward Expansion of the Park and Development of the North Side**

The placement of the north promenade and the temporary outdoor courts there are precisely determined in location and dimension to allow for the development of the site north of the promenade to include a parking structure embedded within ground floor commercial uses and housing above facing both onto the park and the boulevard. This development allows for the vacation of the one and two story commercial buildings along Robertson Boulevard (without sacrificing development intensity or tax revenue) and appropriation for park expansion westward. This westward expansion corrects a major deficiency of the park which the master plan has only partially addressed: its constricted width in the east west dimension.

### **Eastward Expansion of the Park and Development of the MTA Site.**

The development along Santa Monica Boulevard and the north boundary of the park sets the stage for the redevelopment of the Sheriff's Station/MTA site across San Vicente Boulevard and expansion of the park toward the east. With mixed-use development along Santa Monica Boulevard, again in a dimension that allows for efficient parking structures within, room on the site is reserved for the creation of a linear park extending from San Vicente Boulevard to the residential neighborhoods on the east. In this way West Hollywood Park becomes part of a large park system and promenade network linking the park with the newly created promenades of Santa Monica Boulevard and the surrounding neighborhoods.

At this point the west edge of the park has become Robertson Boulevard and in position and relationship the most prominent of the park's boundaries. The properties along the opposite side of Robertson assume a special significance not previously possible, and ripe for development for important civic and community buildings which could include a performance hall, museums, convention facilities, council chambers, city offices.



*The West Hollywood Park Master Plan*



*The Park Expansion and Santa Monica Boulevard Mixed-Use Development Master Plan*





**The Long Term Vision.** Eventually the site upon which is currently located the County Sheriff's Station and the MTA Westside Depot will provide an opportunity for park expansion and the development of mixed-use buildings with housing along Santa Monica Boulevard. With the expansion of the park westward to Robertson Boulevard the sites along the west side of Robertson become appropriate for development of civic and community facilities such as a performance hall, exhibition or convention space, council chambers, city offices.





## Facilities Removal

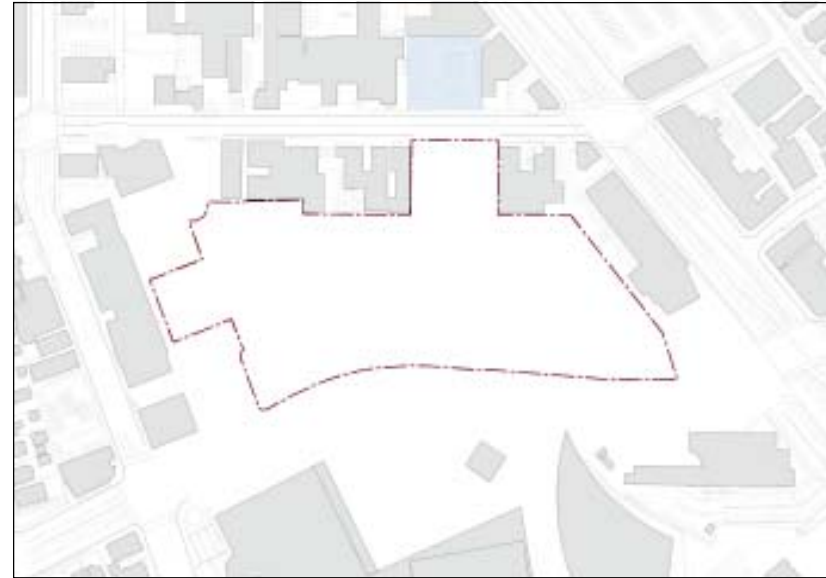
The creation of a significant, unified public open space on the current park site is dependent on the vacation of those facilities now occupying the central area of the park: the library, the swimming pool and pool house, the auditorium and the basketball courts. The removal of these facilities and their placement at the perimeter of the park clears the way for the expansion of grass and trees as an extension of what is currently the heart of the park--the children's playground and picnic area--and transformation of the site into a significant city park with all of the passive and active uses associated with the typical American park. An added benefit of concentrating recreational and community facilities at the park perimeter is that these facilities can be built without disturbing the uses of the current facilities--existing facilities can be removed upon the completion of the new ones.

It was a helpful visualization exercise during the planning process for the Steering Committee to imagine the site in a fictional state in which all of the facilities have been cleared away. Clues emerged as to the best placement of facilities on or around the site and ways to best size and configure the main park area. The committee noted, for example, the strong presence of the 90 degree inside corner of the "blue" and "green" buildings of the Pacific Design Center and the influence it exerts on the spatial configuration of the site. The north side of the "blue" building strikes a meaningful boundary whose extension westward suggested a southern park boundary.

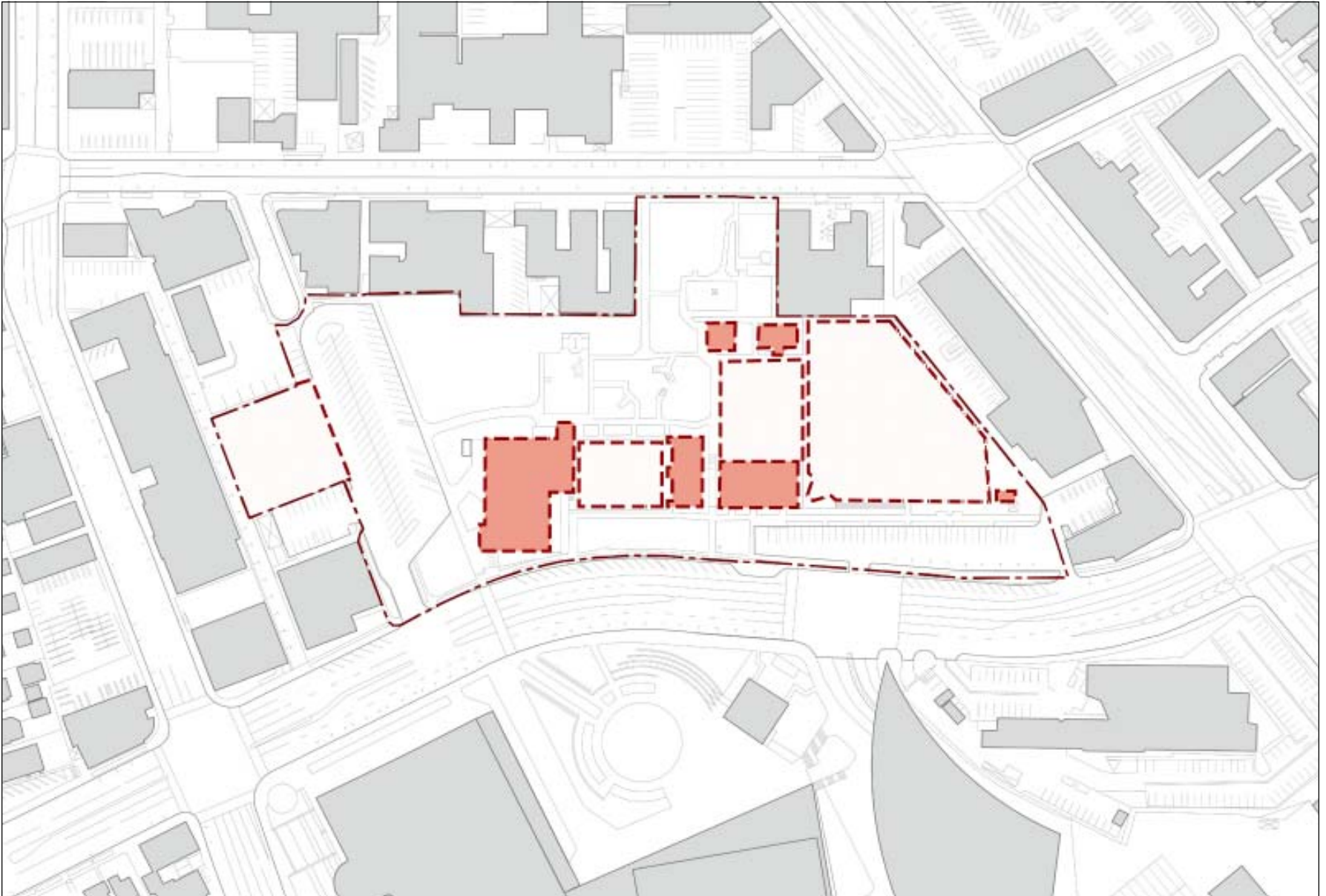
The permeability of the park site at its four corners became evident in this diagram as well. It suggested, also, the possibility of re-imagining San Vicente Boulevard as a street through a major open space rather than running along side the park and separating it from the open space of the PDC. Possible visual and pedestrian linkages emerged; and, connections across the site were revealed as a priority in the planning of the park.

## Implementation Over Time

Of course, the park cannot be demolished in whole to make way for a new one. The implementation of the master plan was an underlying influence on the shape of the plan; it had to consider how its ultimate fulfillment was to take place given the realities that 1) the park and its recreational facilities have to continue to function with the least interruption to their daily operations; 2) financial resources are limited and available in parts over time; and, 3) the park needed to feel complete at each stage of its development.



**Modified and Fictional Figure Ground.** This diagram illustrates a fictional state of the site as if the facilities were removed all at once and a blank slate were the starting point for the master plan. It is merely a technique meant to assist the Steering Committee to focus on the big picture in contemplating possibilities for the creation of open space in the conception of a long term vision for the park.



**Facilities Removal.** With the exception of the tennis and basketball courts the facilities within the park are inadequate enough to require substantial upgrade and/or replacement. This creates an opportunity to evacuate these facilities from the center of the park and replace them elsewhere in or adjacent to the park. The replacement of the courts and the pool in other locations is additionally justified by the need to consolidate park open space.



**Construction Phasing and Implementation Over Time**

The implementation of the master plan will take place in four principal phases as follows:

**I. The Library and Single Level Parking Structure.**

Upon completion of this phase a new three-story, 48, 000 SF facility will sit on what is currently the Ron Stone Clinic site and south parking lot, just south of the existing auditorium. The construction of the single level parking structure sets the stage for the most important modification of the park, the leveling of its south slope. Note that the construction of the library and parking structure will be completed without disturbing the operations of the existing library or any other facility in the park. Only the two tennis courts will be affected--their removal making way for a new surface parking lot to serve the new library and expanded park. Upon completion of the new library, the existing library will be removed in the first step toward expanding park open space.

**II. The Aquatic Center and Two Level Parking Structure.**

The next phase of development will occur on the site of the existing tennis courts, just west and adjacent to the new library. The two pools will be constructed over a two level parking structure accessed from both the new library vehicular entrance and from a new entry from Robertson Boulevard in the right-of-way formerly occupied by El Tovar Place. Located at the interior of the south building site the aquatic facility is most affected by construction staging access and maneuverability; this together with the increasingly urgent pressures to expand the operations of the existing over-taxed pool suggests the priority of this phase in the sequencing of the master plan build-out. Upon completion of the aquatic center the existing pool will be removed in the next step of park expansion.

**III. The Recreation Center and Three Level Parking Structure**

The final phase in the replacement of community/ recreational facilities is the new recreation center on the site of the El Tovar Maintenance Yard, El Tovar Place, the Werle Building and the Robertson commercial properties. The new center will be constructed over a three level parking structure linked with the two level aquatic center structure into a consolidated parking facility accessed along a drive extending across the site from San Vicente to Robertson. The completion of the new center allows for the final step of the evacuation of the existing park, the removal of the auditorium and play courts.

**IV. The Expanded Park.**

With the removal of the facilities along San Vicente boulevard the stage is set for the fourth and final phase, the build out of the expanded park. The San Vicente right-of-way will be narrowed and translated east, the tot lots and childrens playground areas moved south, the promenades set in place

**Investment Over Time**

The following is an outline estimate of the costs of construction associated with the implementation of the park master plan. These are hard costs only and they include demolition, new construction and landscaping, but do not include land acquisition, maintenance and operations. The costs of construction fluctuate with time and they depend on variabilities of design and construction. They are based on assumptions and subject to change. Note that the following \$/SF and totals include a 35% mark-up for contractors general conditions and fee, design contingencies and cost escalation over time.

**Phase I: The Library**

<i>Component</i>	<i>GSF</i>	<i>Unit Costs</i>	<i>\$ x 1,000</i>
Library	32,600 SF	\$300/ SF	\$9,780
Additional Facilities	9,400 SF	\$220/ SF	\$2,070
Parking Structure	35,000 SF	\$115/ SF	\$4,025
Surface Parking / Site Work	140,000 SF	\$18/ SF	\$2,520
		<i>Total:</i>	<i>\$18,395</i>

**Phase II. The Aquatic Center**

Aquatic Facility	n/a	n/a	\$3,442
Pool House	4,200 SF	\$297/ SF	\$1,247
Park Support Facilities	4,200 SF	\$297/ SF	\$1,247
Parking Structure	50,840 SF	\$97/ SF	\$4,931
Site Work	n/a	n/a	\$1,080
		<i>Total:</i>	<i>\$11,947</i>

**Phase III. The Recreation Center**

Recreation Facility	52,000 SF	338/SF	\$17,576
Rooftop Courts	51,500 SF	\$27/ SF	\$1,390
Parking Structure	77,500 SF	\$62/ SF	\$4,805
Site Work	n/a		
		<i>Total:</i>	<i>\$23,771</i>

**Phase IV. The Park**

Demolition	n/a	n/a	\$270
The Park	5.23 Acres	\$27/ SF	\$6,151
San Vicente Boulevard	n/a	n/a	\$1,350
		<i>Total:</i>	<i>\$7,771</i>

**Construction Cost at Full Implementation : \$61,884,000**

\* See pages 47-48 of this report and Appendix (iv), "West Hollywood Library Concept Design Cost" Plan for more detailed breakdown of library construction costs.



*The Existing Condition.*



*The Library as Phase I*



*The Aquatic Center and Park Support Facility as Phase II.*



*The Recreation Center and Completion of the Park and Phases III and IV.*

### Phase I: The New West Hollywood Library

A new library and expanded park space are and have been for a long time among the highest priorities of the West Hollywood community, located at the heart of one of the most dense urban areas of the Los Angeles basin. The construction of the new library provides a facility to replace an aging and inadequately sized existing library. In terms of size and services provided the new library will meet the needs of the diverse community of West Hollywood in ways that the existing building in its present location cannot. The construction of the library and its surrounding site improvements puts into place the first of the series of important changes to the park that result in expanded open recreational space (grass and trees) in the park described in the master plan.

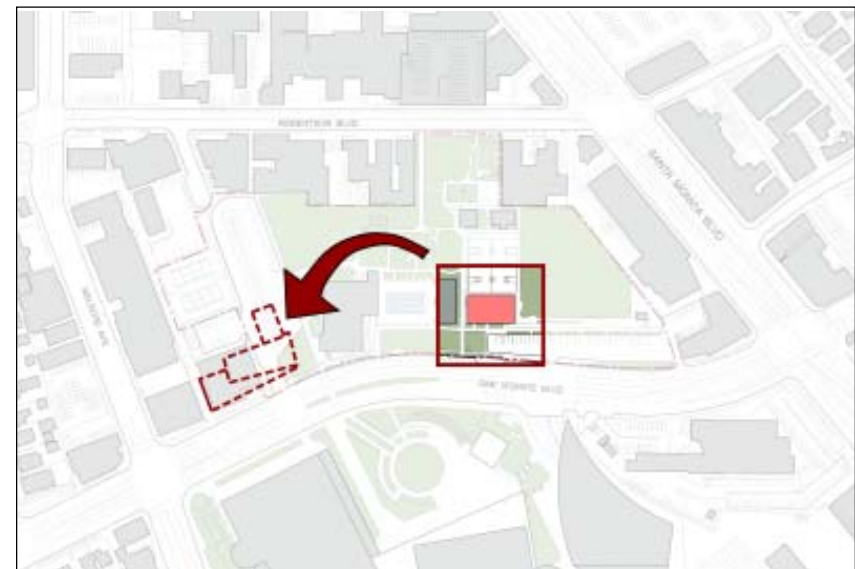
The Phase I library project provides 70 parking spaces in a single story structure below the library and extending west along the southern edge of the park. The new structure is built in approximately the location of the existing surface parking lot; it takes advantage of the downhill slope of West Hollywood Park from the northwest to the southeast, essentially providing required parking while also allowing park open space expansion above. Vehicular entrance is established at existing grade along San Vicente Boulevard providing access to parking at the northwest corner of the structure. This parking level is approximately 18-0 below the proposed par grade at that location. This allows for a landscaped roof over this new structure which extends and expands level park open space at the southern end of the park.

A vehicular passageway and vehicular drop-off are created below the library to provide access to this structure and the new surface parking lot to the west of the library. This surface parking lot provides 69 spaces creating a total of 139 spaces at the conclusion of phase I.

Importantly, the construction of the new library will take place with no disruption to the current operations of the existing library or the existing park. At the conclusion of Phase I the library will sit south of the auditorium. The south slope of the park will have disappeared underneath the new parking structure and a new level area of the park above.

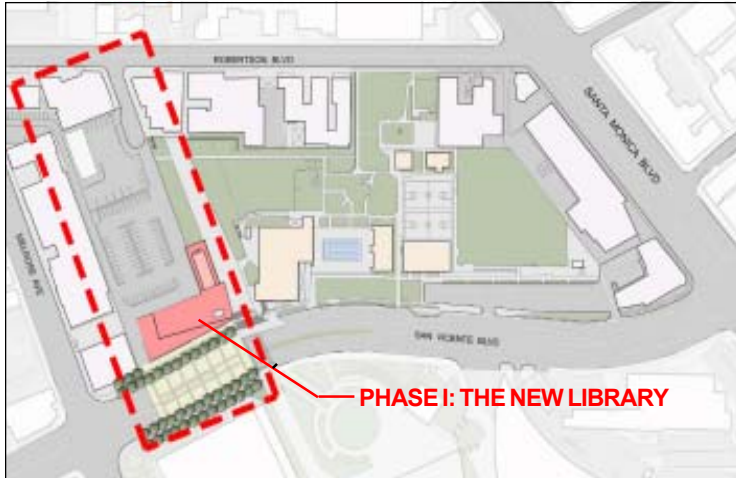


**West Hollywood Library.** The existing library occupies a site in the middle of the park and faces onto San Vicente Boulevard. Despite the centrality of its location, the library lacks physical presence and visibility from the street and the park.

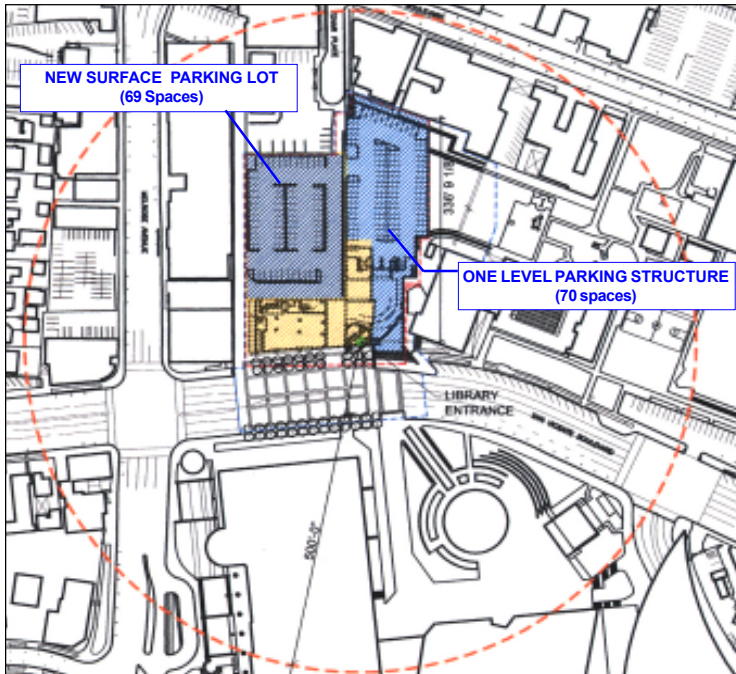


The new library will be built while the existing library continues operations. The new library will anchor the southeast corner of the park facing both north into the park and east onto San Vicente Boulevard.

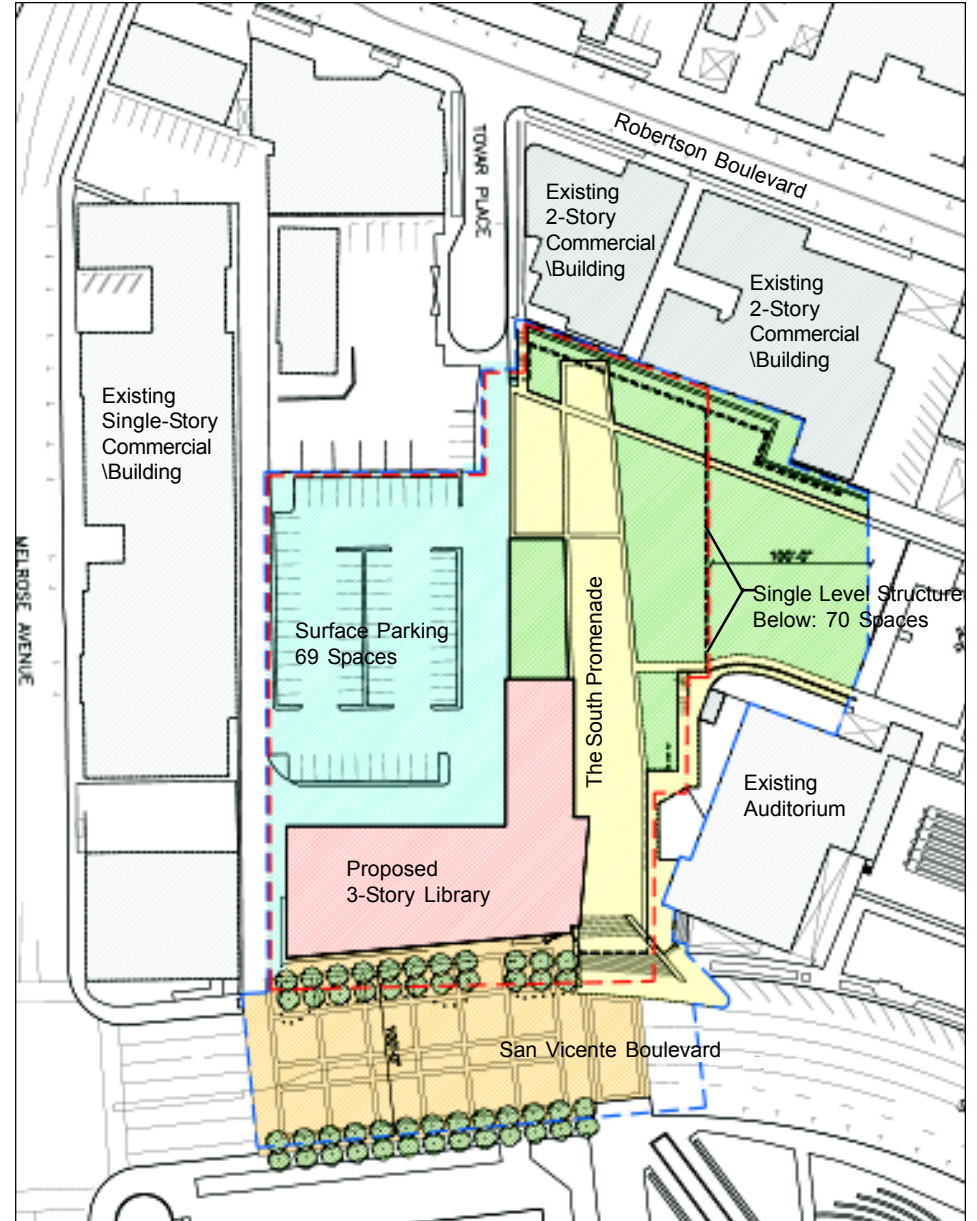




*West Hollywood Park at the Conclusion of Phase I. The new library is in place and the south end of the park has been laid over the new parking structure.*



*Phase I: San Vicente Level. The new structure lies to the south of the existing auditorium and beneath the new level of the park.*



*Phase I: Park Level. The south slope of the park has been eliminated by raising that area of the park over the new one level parking structure.*

**Summary of West Hollywood Library Concept Design Cost Plan**

*The following is a detailed estimate of project construction costs for the new library and associated parking facilities. The project has been divided into the components shown in order to distinguish those areas the State of California funds within the state library bond program and to account for the phasing of the library build-out. The estimate assumes a construction start date of August 2005 and midpoint of construction at April 2006.*

**Library Building Cost Summary: \$11,819,000**

	<b>1) Main Library Facility: 32,631 SF</b>		<b>2) Library Support Facilities: 4, 016 SF</b>		<b>3) Library Expansion: 5,300 SF</b>	
<i>Component</i>	<i>Unit Cost (\$/SF)</i>	<i>\$ x 1,000</i>	<i>Unit Cost (\$/SF)</i>	<i>\$ x 1,000</i>	<i>Unit Cost (\$/SF)</i>	<i>\$ x 1,000</i>
1. Foundations	5.01	\$164	6.46	\$26	4.47	\$24
2. Vertical Structure	7.87	257	7.99	32	7.58	40
3. Floor and Roof Structures	23.98	783	24.65	99	16.79	89
4. Exterior Cladding	56.56	1846	55.75	224	53.41	283
5. Roofing and Waterproofing	5.23	171	5.47	22	4.90	26
6. Interior Partitions, Doors and Glazing	12.65	413	14.54	58	0.00	0
7. Floor, Wall and Ceiling Finishes	17.49	571	17.77	71	1.75	9
8. Function Equipment and Specialties	7.21	235	6.33	25	0.00	0
9. Stairs and Vertical Transportation	11.04	360	3.11	13	0.00	0
10. Plumbing Systems	6.27	205	7.27	29	7.52	40
11. Heating, Ventilating and Air Conditioning	33.28	1086	33.02	133	0.00	0
12. Electric Light, Power, Communications	29.83	973	31.57	127	17.50	93
13. Fire Protection Systems	3.00	98	3.00	12	3.00	16
14. Site Preparation and Demolition	n/a	0	n/a	0	n/a	0
15. Site Paving, Structures and Landscaping	n/a	0	n/a	0	n/a	0
16. Utilities on Site	n/a	0	n/a	0	n/a	0
	<b>Subtotal:</b>	<b>\$7,161</b>	<b>Subtotal:</b>	<b>\$871</b>	<b>Subtotal:</b>	<b>\$620</b>
General Conditions	08.5%	\$609	08.5%	\$74	08.5%	\$53
GC's Overhead and Profit	04.0%	311	04.0%	38	04.0%	27
Design Contingency	12.5%	1,010	12.5%	123	12.5%	87
Escalation	07.6%	691	07.6%	84	07.6%	60
	<b>Subtotal:</b>	<b>\$2,621</b>	<b>Subtotal:</b>	<b>\$319</b>	<b>Subtotal:</b>	<b>\$227</b>
	<b>Total:</b>	<b>1) \$9,782</b>	<b>Total:</b>	<b>2) \$1,190</b>	<b>Total:</b>	<b>3) \$847</b>

**Parking and Site Work Cost Summary; \$6,576,000**

Component	4) Parking Structure : 34,900 SF		5) Surface Parking Lot: 33,000 SF		6) Site Work: 108,285 SF	
	Unit Cost (\$/SF)	\$ x 1,000	Unit Cost (\$/SF)	\$ x 1,000	Unit Cost (\$/SF)	\$ x 1,000
1. Foundations	8.41	\$293	n/a	\$0	n/a	\$0
2. Vertical Structure	11.95	417	n/a	0	n/a	0
3. Floor and Roof Structures	37.51	1,309	n/a	0	n/a	0
4. Exterior Cladding	3.46	121	n/a	0	n/a	0
5. Roofing and Waterproofing	4.71	164	n/a	0	n/a	0
6. Interior Partitions, Doors and Glazing	n/a	0	n/a	0	n/a	0
7. Floor, Wall and Ceiling Finishes	1.35	47	n/a	0	n/a	0
8. Function Equipment and Specialties	2.49	87	n/a	0	n/a	0
9. Stairs and Vertical Transportation	0.86	30	n/a	0	n/a	0
10. Plumbing Systems	3.21	112	n/a	0	n/a	0
11. Heating, Ventilating and Air Conditioning	5.82	203	n/a	0	n/a	0
12. Electric Light, Power, Communications	3.57	125	n/a	0	n/a	0
13. Fire Protection Systems	1.50	520	n/a	0	n/a	0
14. Site Preparation and Demolition	n/a	0	1.90	63	2.63	0284
15. Site Paving, Structures and Landscaping	n/a	0	6.87	227	10.59	1,146
16. Utilities on Site	n/a	0	1.12	37	0.87	95
<b>Subtotal:</b>		<b>\$2,961</b>	<b>Subtotal:</b>	<b>\$327</b>	<b>Subtotal:</b>	<b>\$1,525</b>
General Conditions	08.5%	\$252	08.5%	\$28	08.5%	\$130
GC's Overhead and Profit	04.0%	129	04.0%	14	04.0%	66
Design Contingency	12.5%	418	12.5%	46	12.5%	215
Escalation	07.6%	286	07.6%	32	07.6%	147
<b>Subtotal:</b>		<b>\$1,085</b>	<b>Subtotal:</b>	<b>\$120</b>	<b>Subtotal:</b>	<b>\$558</b>
<b>Total:</b>		<b>1) \$4,046</b>	<b>Total:</b>	<b>2) \$447</b>	<b>Total:</b>	<b>3) \$2,083</b>

**Phase I Library, Parking and Site Work : \$18,395,000**



**Outreach and the Process**

**The Steering Committee**

The West Hollywood Parks Steering Committee was the entity charged with the development of the West Hollywood Park Master Plan. The 21-member group was made up of representatives from all parts of the community. A number of them sat on other committees with the City organization including the Public Facilities Committee, the Planning Commission, the Disability Advisory Board, the Eastside Project Area Committee etc. The group met once a month from April of 2002 through February of 2003, heard from and gave direction to the design team throughout the process. At critical points in the process the Committee formally voted on and submitted recommendations to the City Council.

**The Public Forums**

Two Public Forms were held in West Hollywood Park, the first on May 18, 2002 and the second on June 29, 2002. The purpose of the first Forum was to allow the design team to hear the concerns, issues, questions and suggestions of the community upon the start of the process; the purpose of the second Forum was to report back what was heard at the first Forum and describe alternative directions of the master plan that were considered by the Steering Committee as a result of those findings.

**City Staff**

City Staff from the various departments including the Facilities and Landscape Division, Departments of Transportation and Public Works, Human Services, Community Development, Rent Stabilization and Housing, Economic Development and Special Projects, Public Information and Adjudication participated in the development of the plan throughout the process. Sam Baxter, Manager of the Facilities and Landscape Division was in charge of the day-to-day coordination of master planning activities and worked closely with the design team.

**City Council**

City Council heard presentations from the design team on the master plan as it developed and received recommendations from the Steering Committee. The City Council adopted the Draft Concept Master Plan in 2003.

**Record of Outreach**

**April 2002**

- April 10, 2002 City Staff Directors and Managers
- April 15, 2002 Public Information Office
- April 17, 2002 Councilmember John Heilman
- April 17, 2002 Councilmember Guarriello
- April 24, 2002 Steering Committee
- April 25, 2002 Public Information Office
- April 26, 2002 Councilmember Prang

**May 2002**

- May 02, 2002 Bob Abraham, CATV
- May 02, 2002 City Recreation Staff
- May 02, 2002 Councilmember Martin
- May 08, 2002 Library Committee Meeting
- May 08, 2002 Public Information Office Staff
- May 13, 2002 Councilmember Duran
- May 14, 2002 Bob Abraham, CATV
- **May 18, 2002** **Public Forum at West Hollywood Park**
- May 22, 2002 Steering Committee

**June 2002**

- June 11, 2002 Lloyd Long, Ray Renolds, Sam Baxter
- June 12, 2002 Library Committee Meeting
- June 13, 2002 Councilmember Heilman
- June 18, 2002 Sam Baxter (Plummer Forum Planning)
- June 19, 2002 Directors and Managers
- June 20, 2002 Councilmember Guarriello
- June 21, 2002 Friends of the Library
- June 25, 2002 Lloyd Long, Sam Baxter, (Plummer Forum)
- June 26, 2002 Councilmember Martin
- June 26, 2002 Councilmember Duran
- June 26, 2002 Steering Committee
- June 27, 2002 City Manager, Directors and Managers
- **June 29, 2002** **Public Forum at Plummer Park**

**July 2002**

- July 02, 2002 Sam Baxter (Forum Planning)
- July 09, 2002 City Recreation Staff
- **July 14, 2002** **Public Forum at West Hollywood Park**
- July 17, 2002 Library Committee
- July 17, 2002 Lloyd Long and Sam Baxter
- July 24, 2002 Senior Advisory Board
- July 24, 2002 Plummer Park Youth
- July 24, 2002 Steering Clommittee
- July 30, 2002 Lloyd Long and Sam Baxter

**August 2002**

- August 03, 2002 Saturday in the Park Parents
- August 13, 2002 Councilmember Guarriello
- August 13, 2002 Swimming, Tennis, Basketball Stakeholders
- August 13, 2002 Swimming Stakeholders
- August 15, 2002 West Hollywood Aquatics Board of Directors
- August 16, 2002 Councilmember Steve Martin
- August 16, 2002 Councilmember John Heilman
- August 20, 2002 Tiny Tots Staff and Parents
- August 21, 2002 Bob Abraham, CATV
- August 27, 2002 Councilmember Jeffrey Prang
- August 27, 2002 Councilmember John Duran
- August 28, 2002 Steering Committee
- August 29, 2002 Alison Katz, Admin Asst. Co. Brd. of Supervisors

**September 2002**

- September 09, 2002 Joan English, DOT, Re: Phasing & Parking
- September 10, 2002 Plummer Park Russian Veterans Memorial
- September 10, 2002 Tiny Tots Staff & Parents
- September 10, 2002 Human Services Commission, Re: Library
- September 11, 2002 Lloyd Long, Sam Baxter, Nancy Baird
- September 12, 2002 Oscar Delgado Re: Parking & Phasing
- September 12, 2002 Dept Directors and City Manager
- September 13, 2002 Library Consultant
- September 17, 2002 Aquatics
- September 19, 2002 Aquatics
- September 19, 2002 Jeff Huffer, Re: Library
- September 19, 2002 Tiny Tot Parents
- September 20, 2002 City Councilmember John Heilman & Roz Kraus
- September 23, 2002 Plummer Park Russian Veterans Memorial
- September 25, 2002 Library Committee
- September 26, 2002 CSW

**October 2002**

- October 03, 2002 Ryan Snyder Re: Bicycle Circulation & Parking
- October 05, 2002 Library, Book Fair
- October 11, 2002 Agoura Hills, Thousand Oaks Library Tour
- October 14, 2002 City Council Study Session
- October 15, 2002 Charles Cohen, PDC
- October 15, 2002 WEHO Chamber of Commerce
- October 16, 2002 DOT Staff
- October 22, 2002 Russian Advisory Board
- October 23, 2002 Library Committee
- October 23, 2002 Steering Committee
- October 23, 2002 Sam Baxter and Lloyd Long

**November 2002**

- November 20, 2002 Steering Committee

**December 2002**

- December 2, 2002 Sam Baxter and Ray Reynolds
- December 4, 2002 Library Committee
- December 18, 2002 Steering Committee
- December 19, 2002 Arts Commission

**January 2003**

- January 22, 2003 Steering Committee

**February 2003**

- February 4, 2002 Councilmember Sal Guarriello
- February 5, 2003 Councilmember John Duran
- February 13, 2003 Sam Baxter and Lloyd Long
- February 18, 2003 Councilmember John Heilman
- February 22, 2003 Public Forum at Plummer Park
- February 26, 2003 Steering Committee

**March 2003**

- March 11, 2003 Eastside Redevelopment Area PAC

**ACKNOWLEDGEMENTS** WEST HOLLYWOOD PARK MASTER PLAN 2004 - *Appendix I Record of Outreach and Acknowledgements*  
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Susan Pinkus	Vice-Chair
Sal Guarriello	Mayor
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Rod MacDonald	Council Office Appointee
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John D'Amico	Human Services Commissioner
Ric Abramson	Public Facilities Commissioner
Steven Greene	Public Facilities Commissioner
Roy Huebner	Public Facilities Commissioner
Thomas Jones	Public Facilities Commissioner
Bud Siegel	Public Facilities Commissioner
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# **WEST HOLLYWOOD PARK MASTER PLAN 2004**

*City of West Hollywood*



*Background Information & Supporting Analysis*

*Appendix II*



# **WEST HOLLYWOOD PARK MASTER PLAN 2004**

*City of West Hollywood*

*Developed by:*

***The People of the City of West Hollywood  
The City of West Hollywood City Council 2002-2003  
The City of West Hollywood Parks Master Plans Steering Committee  
The City of West Hollywood Public Facilities Commission***

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Rent Stabilization and Housing, Economic Development and Special Projects,  
Public Information and Legal Services***

***MDA Johnson Favaro and Mia Lehrer + Associates***



## Background Information & Supporting Analysis

The purpose of this of this appendix is two fold: 1) To summarize the history of outreach, research and analysis that took place in the formation of the initial parameters that established the foundation for the development of the master plan; and, 2) To review the options that were considered in the development of the master plan, both those rejected and those adopted. The report is divided into four sections as follows:

### Introduction.

This section places West Hollywood Park in the context of the City as a whole, and explains its role within the neighborhood centered on the intersection of Santa Monica Boulevard and San Vicente. Also discussed is the role of the park within the overall parks and open space inventory of West Hollywood. It includes an overview of the West Hollywood Recreational Needs Assessment, and a summary inventory of those facilities currently accommodated within the park.

### Initial Parameters.

This section reviews the work completed through the outreach component of the Reconnaissance and Analysis phase of the master plan. It includes a review of the major features of the existing park and a summary of the major components to be considered in the master plan. Key to understanding where to focus our effort in the creation of the master plan was the early identification of the variables at play within and around the park. It was through the outreach process that we were able to focus the plan on those issues that mattered most to the community. Major challenges and opportunities facing the park and its redevelopment are then reviewed, followed by a summary of the goals of the master plan as identified by the Steering Committee and the community and those planning principles that were to be put into action in the realization of those goals.

### Analysis of Existing Conditions

This section includes analytical diagrams that elucidate everything from property ownership to ground plane permeability. Existing land uses, topography, site lines into and out of the park and other features are illustrated in order to form the common point of departure from which the master plan was to have been developed. Agreement on the “lay of the land” on everyone’s part was crucial in understanding the starting point and directions to pursue.



**Regulating Plan.** This diagram lays out building sites and open space and is the foundation of the master plan. Areas designated open space are to remain so in perpetuity. Within building sites alternative development opportunities are many and wide ranging.

### Options Considered and Alternate Interpretations.

The West Hollywood Park Regulating Plan is probably the most important document of the master plan in that it defines building sites and more important that open space which shall remain un-built upon in perpetuity. The regulating plan is introduced then backed up with the alternatives that were considered, including both those rejected and adopted in the formulation of the document. Finally, several interpretations of the regulating plan are illustrated in order to demonstrate both the discipline and flexibility built into the plan. Interpretations focus on, among other things, the variety of ways to configure the aquatic and recreation centers--depending on circumstances and opportunities of the future--without compromising the master plan.

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## The City of West Hollywood, Its Recreational Needs and Its Parks

West Hollywood incorporated in 1984 and is a demographically diverse city of 39,000 people. Its 1.9 square miles have been mostly developed and can be considered urban in character. West Hollywood is home to one of the most compelling and renowned stretches of Sunset Boulevard as well as some of the most revered and architecturally significant residential neighborhoods in Southern California. The City's elongated panhandle shape running east-west and its organization along a central commercial spine, Santa Monica Boulevard, allows for a strong relationship between residential areas and commercial, shopping and urban-oriented social opportunities. In the north-south direction, the City varies in width from three blocks to just over one-mile and is comfortably walkable for most residents. The quality and character of the environment of the city is strongly influenced by its setting at the foot of the Hollywood Hills on the northern rim of the expanse between downtown Los Angeles and the Pacific Ocean known as the "Westside." The topography ranges from steeply inclined slopes along its northern flank ("the hills") to flat areas along its southern flank ("the flats"). Its narrow width and relatively small size also mean that it influences and is influenced by surrounding communities. Hollywood, Beverly Hills, Santa Monica and Los Angeles provide various and diverse recreation, social and commercial opportunities for West Hollywood residents; and these same communities enjoy West Hollywood's amenities.

The most definitive socio-demographic characteristics of the City of West Hollywood include the small household size and low incidence of home ownership. There is a below-average proportion of the population of children under 17 years of age and an above-average proportion at 65 and over. The percentage of non-family households and single households in West Hollywood is significantly larger than is typical for the county as a whole. Median household incomes in the City were historically lower than the Los Angeles County median, but they are escalating; and housing values are higher, reflecting the much larger renter population typical of the City. The City is less ethnically diverse than the county as a whole; however it has a significantly larger foreign-born population (25%). Comparison of the 1990 Census and the 2000 Census suggests several trends: the number of young families with children is growing while the elderly population is diminishing; the population of young adults and adults continues to thrive; median household income has more than doubled, rising to \$68,000 while one-person households have decreased slightly as has the foreign-born population. Household ownership has increased by almost 30%.

West Hollywood's physical characteristics and demographics generate opportunities and challenges that the city and its citizens recognize, embrace and celebrate. This is reflected in the City's philosophy that its parks, recreation facilities, programs and open space are an important part of life in West Hollywood, enhancing the physical and mental health of its citizens, enriching their lives and the quality of the city as a place to live and work within one of the most dynamic metropolitan centers in the world. Of West Hollywood households polled, 61% rated "green space for casual or passive activity" as a high need; 56% also cited "walking/jogging paths" and 53% "bicycle paths or lanes." The three most important values identified by West Hollywood residents in the expression of their desires

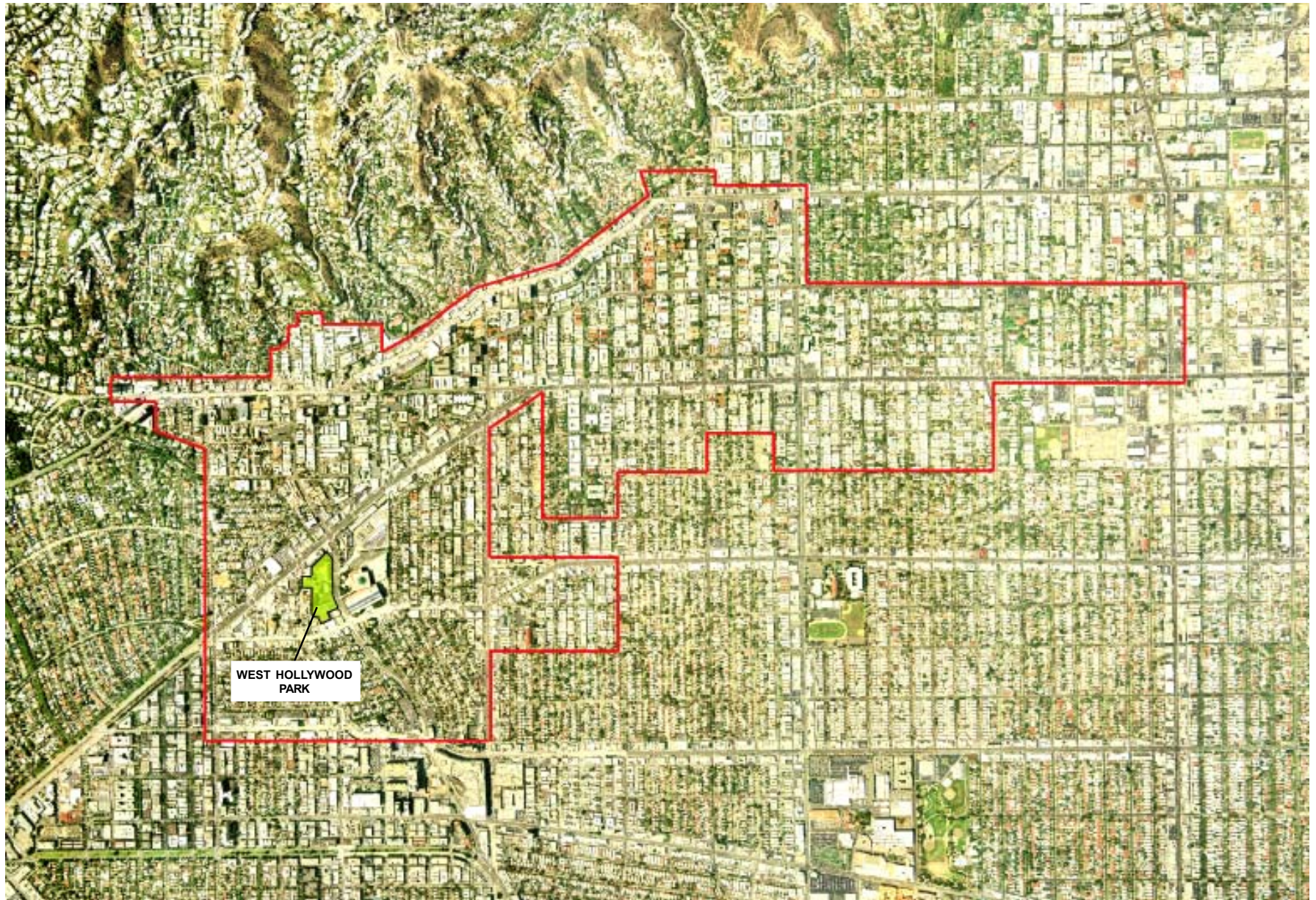


**Sunset Boulevard.** West Hollywood is home to some of the most dynamic commercial areas and revered residential neighborhoods in the Los Angeles metropolitan area.

and expectations for recreation and leisure are: *Sense of Community, Health and Wellness and Safe Places to Gather*. According to recent surveys, over half of those polled (52%) stated that "physical fitness" is the most important benefit when they seek recreation or leisure opportunities. The next largest group (20%) cited "socializing" and the third largest (16%) "learning". A needs analysis completed by the City in 2000 concluded that there is a deficit in the number of recreation facilities available within the City for all facilities analyzed, including softball fields, soccer fields, tot lots, tennis courts, skate areas, casual green space, indoor basketball, swimming pool and classrooms. Should the demographic trends of the 1990's continue there will be a greater demand for these kinds of facilities in order to serve a younger, more family-oriented population. In providing activities, services and facilities residents expect recreation and leisure activities to be accessible to all populations of the community.

City-operated parks and recreational facilities include the Detroit Community Garden, Havenhurst Community Garden, Hart Park, Norwich Community Gardens, Plummer Park and West Hollywood Park. Other public park facilities used by West Hollywood residents include Runyon Canyon Park, Griffith Park, Poinsettia Park and La Cienega Park all of which lie nearby, but outside of city limits. Park facilities in West Hollywood are well-used, busy centers of activity during all days of the week and all hours of the day. Parks are meeting places for the community especially Plummer Park and West Hollywood Park. The high level of use can be attributed to the overall deficiency of available open space and recreational facilities, the population density and the demographic characteristics of West Hollywood.





*West Hollywood in Context.* The city lies at the foot of the Hollywood Hills along the north rim of the expanse between downtown Los Angeles and the Pacific Ocean known as the “Westside”. It adjoins Beverly Hills to the west and is surrounded by Los Angeles on its other three sides.



## West Hollywood Park and Its Uses

West Hollywood Park was developed in the 1960's as a part of the Los Angeles County Park System. In 1985, its operation and maintenance responsibilities were assumed by the newly incorporated City of West Hollywood. The park is host to a wide range of community and recreational facilities such as a multipurpose auditorium, children's play areas, picnic areas, a softball field, swimming pool, basketball courts and tennis courts. The multi-purpose auditorium has been the venue for regular City Council and Planning Commission meetings. The swimming pool complex was built in the 1960's as a seasonal facility and has been upgraded on a couple of occasions in recent years to become a year-round, handicap accessible, day and evening use facility. The 5,000 SF library is a county-run facility on county-owned property and highly admired by its users for the quality of the staff and services they provide. It is widely accepted that the physical facilities themselves are highly inadequate in size and state of repair.

As one of the two principal city-owned and operated public facilities in the City, West Hollywood Park is the site for the delivery of many of the recreational and social services provided by the City. At West Hollywood Park, there are several fold: There are four programs for preschool age children (18 mos-5 yrs) including a summer day camp and youth development programs. The *Birthday Party Program* is a full service program providing all the accessories needed for a child's birthday party including party hosts. Youth Programs (5-12) include cooking, excursions, special events drill team and birthday party packages. Winter, Spring and Summer Day Camp programs are provided as well as classes in tennis, aquatics, field sports and karate. Aquatics lessons average 1,000 youths each summer. Also offered are classes in music, drawing, arts and crafts. Teen programs (12-17) are provided mainly at Plummer Park, although West Hollywood Park is host to an annual summer games event with up to 75 participants competing in swimming and track-and-field.

For Adults (18 and over), classes are offered in dog obedience, flower arranging and Spanish for beginners. Classes have experienced increased participation in recent years. Programmed and unprogrammed tennis, yoga, adult exercise, aquatics and 3-on-3 basketball are provided as health and wellness opportunities for the adult population. The two tennis courts, the two basketball courts and the ball field are in almost continual use throughout the day and week. Aquatics has a large attendance overall, with 2,000 in the adult lap swim program. Cardiovascular Aquatic Exercise has 360 participants and the Scuba diving program has up to 190 students. Swimming lessons are also popular with 2,000 participants taking lessons last season. The Aquatics Master's Program had 750 participants in 1999.

Special Events of a variety of size and type are staged in the park over the course of a year. Most dramatically, in June, San Vicente Boulevard between Santa Monica Boulevard and Melrose Avenue is closed and the *Christopher Street West* festival takes over the entirety of the park. A *Halloween Youth Carnival* with games, rides, entertainment and a costume contest, is held in the park each year with up to 1,000 youths with their families in



**The Heart of the Park.** The area between the Robertson grass and the pool complex is host to the tot lot, children's playground, and picnic area. With plentiful green grass and gracious large trees, this area is popular with young families.

attendance. On the first Saturday of each month, the highly successful *Saturday-in-the-Park* events are held and attended in large numbers by young families with children. Other events include the *Angels Amidst Ceremony* where community volunteers are recognized for their service to the community with up to 350 in attendance; the *Fourth of July* event has 500+ attendees, carnival games, entertainment, and a free barbecue by Good Neighbors Association, the *Cinco De Mayo* celebration has 500+ participants and was originated in response to the emerging Latino population and the promotion of cultural unity. *Summer Sounds* is an outdoor music program sponsored by the city and accommodated in the outdoor amphitheater across San Vicente Boulevard on the site of the Pacific Design Center across San Vicente Boulevard.

By far the most popular part of the park and what many consider the heart of the park is the area west of the pool and auditorium where the tot lot and children's playground are separated by a picnic area--all nestled within the canopy of mature trees and surrounded by shaded grassy areas. Parents with young children congregate daily in this part of the park to relax, play and socialize in an environment that is demographically diverse, tolerant and alive with a sense of community. Just over one acre in size this area is prized by parents for its intimacy in scale, appropriate for young children, and its sense of security by virtue of its separation from the bustle of the surrounding streets. Parents are able to keep an eye on their children while enjoying the ambience of the park in the company of friends, neighbors and family.





*West Hollywood Park Viewed from the North. Santa Monica Boulevard is in the foreground Melrose in the background, Robertson on the right and San Vicente on the left. The Pacific Design Center is on the left. Many of the city's recreational, community and social services are delivered in this park.*

## Overview of West Hollywood Park Today

The 6.6 acre West Hollywood Park is host to several and varied recreational facilities including a ball field, two basketball courts, two tennis courts, tot-lots, playground equipment, community pool and pool house, auditorium, park office and small meeting rooms public restrooms and a library. There are two parking lots and a modest amount of unprogrammed open spaces consisting of lawns with trees and a few picnic tables.

**Boundaries.** The park is bounded by San Vicente Boulevard on the east and the back sides of commercial properties on its other three sides. The northern boundary is formed by the ball field fence and screen, utility poles and lines and the substandard alley that runs between San Vicente Boulevard and Robertson Boulevard on the south side of the commercial buildings. Surface parking lots (and one subterranean garage, below Kuntz Hardware) are visible and accessed from this alley. The southern boundary of the park is formed by the alley running behind the commercial properties fronting onto Melrose Avenue. This alley is owned by the County and operated by the City and provides surge parking for events in the park auditorium, and for patrons of the surrounding commercial establishments. Just north of this alley are the park's tennis courts and the two County-owned properties, El Tovar maintenance yard and the Ron Stone Clinic.

The western boundary of the site is formed by the back sides of the commercial properties fronting onto Robertson Boulevard. El Tovar Place dead ends at the southwest corner of the park as a cul-de-sac and is bracketed by a commercial property and the city-owned Werle Building. Further north, few if any of the commercial buildings have access to the park; there are at least two pass-throughs of an intimate, walkable nature that potentially could make relationship to the park. The "Robertson Grass" makes an important connection between Robertson and the park but is not useful as an integral, programmable part of the park. The commercial properties on the north side of the "Robertson Grass" are restaurants, nightclubs and bars. The eastern boundary of the park is currently formed by the San Vicente right-of-way. The edge of the park along this frontage consists of the north surface parking lot, a strip of green along the front of the library and aquatics facility, the facade of the auditorium and the entry to the south parking lot.

**Topography.** The site slopes from north to south with some major retaining walls at the south side of the ballfield, the pool deck area, and at the auditorium. The grade slopes from west to east --from Robertson Boulevard to San Vicente Boulevard as well. The surface of the ball field slopes significantly in the outfield reducing the playable area of an already nonregulation size field. A set of steps running east-west between the south side of the library and the north side of the swimming facility connects a grade differential of about a half-story (six to eight feet). A six foot or so high retaining wall runs along the west side of the swimming pool deck separating the deck from the park above. The grade on the south side of the auditorium is significantly lower (another half-story) than the floor of the auditorium. Overall, the site slopes approximately 26'-0" from north to south.

**Landscape.** The park site has a number of large trees some of which are healthy specimens that are worth saving. A particularly significant tree is the multi-trunk Sycamore located along the San Vicente frontage in the turf area near the pool complex. The Ficus trees though large have invasive roots that have raised and cracked the paved paths in the area. Their roots have caused continual maintenance problems with underground sewers and foundations and turf mowing. The turf of the ball field has been worn down to exposed dirt in most areas due to extensive use. The playground equipment areas are surfaced in sand, bark and resilient surfacing.

**Utilities.** Overhead power lines run along the west edge of the park just behind the commercial properties. Utility services currently serve the park improvements including water, sewer, gas, electricity and telephone. At the extreme north end of the park is an abandoned civil defense tower which stands over a small maintenance yard. An electrical transformer is located at the southwest corner of the auditorium.

**Pedestrian and Vehicular Circulation and Parking.** Pedestrian access to the park is by way of walks via the street sidewalks and internal paths. Pedestrians are able to reach the park on foot at two points along Robertson Boulevard and several points along San Vicente Boulevard, although access from San Vicente is mainly vehicular. A 41-car parking lot exists along San Vicente Boulevard and serves the library and ball field. A larger 70 car lot is located just south of the auditorium north of the Ron Stone Clinic, running east-west across the width of the park. Another 20 spaces are located on the Ron Stone Clinic property. Another 62 spaces are provided in the form of parallel and diagonal parking along the west curb of San Vicente Boulevard running the full length of the park. Parallel parking spaces are also available on the opposite curb. An MTA bus stop is located on San Vicente Boulevard in front of library.

**The Library.** The West Hollywood Community Library is a branch of the County of Los Angeles Public Library and was built in 1962. The 5,170 SF branch while admired for its staff and services has long been perceived to be inadequate in its holdings and is significantly smaller than libraries that serve comparable municipalities. The library occupies the center of the park frontage facing onto San Vicente Boulevard. The building is one-story in height set back from and facing San Vicente Boulevard. Its east facade is all glass with a metal screen; none of the other three sides has openings or exposure to the park. The back of the library is a retaining wall for the areas of the park to the west. The roof of the library is visible from the ball field. Patrons park either along San Vicente, in the north lot or the south lot. Those arriving by bus are dropped-off at the MTA stop just in front of the library.

**The Aquatic Facility.** The swimming pool and pool house were built concurrently with the library to the north and the auditorium to the south. The pool is 25-yards in length running north-south and was built originally as a seasonal pool only. The bath house



dressings rooms have no roof, but are protected with a screen structure.. The deck of the pool is a half-story above the level of San Vicente Boulevard and visible from the street. A small strip of turf separates the pool deck from the sidewalk along San Vicente Boulevard. A wall runs along the west side of the deck retaining the park areas above and to the west. A chain link fence encloses the pool on its east and west sides. The pool has been upgraded twice recently to accept an upgraded heating system and pool cover and to accommodate handicap accessibility. The aquatic facility is heavily used, all year, all week and at all hours of the day and evening for adult lap swim, organized workouts, swimming lessons and classes of all kinds. It has expanded in use beyond the limits of its original design and has outlived the normal life span of the typical community pool of the early sixties era.

**The Auditorium.** The auditorium is located at the southeast corner of the park, faces onto and is elevated above San Vicente Boulevard. Its main entrance faces east, but is accessed via a set of stairs on the south side of the building facing onto the south parking lot. Arriving from the south along San Vicente Boulevard the auditorium blocks both views and pedestrian access into the park. This building is approximately 40 years old, contains 8,240 gross square feet and does not comply with current ADA requirements. The lower level houses a main auditorium and stage of approximately 5,600 SF, a large kitchen, restroom facilities and storage rooms. The lower level also contains the City's cable television facilities. The upper level contains the park office, restrooms and the Sky Room which is a meeting room that overlooks the pool. The upper level contains approximately 1,140 SF. This building, like the library and the bath house are of the same early 60's masonry institutional international style.

**Fields and Courts.** The softball field at the northern boundary of the park is bounded by a chain link fence and flanked by bleachers on its west and south sides. A high screen on its north side prevent balls from hitting the commercial buildings along the north side of the park. These features of the ball field give it the appearance of being of regulation-size and capable of supporting league play when in fact it is not and does not. The city does not allow regulation or league play on the field; however, the field is heavily used on an informal basis. A local school uses the field for soccer practice. The turf is worn from over use and lack of opportunity for "rest." A retaining wall approximately 3-0 in height running along the south side separates the ball field from the basketball courts below. These are two half (youth) courts and one full court paved in asphalt and enclosed within high chain-link fences. The courts are used day and evening throughout the week--kids usually during the day and adults later in the day and evenings. At the southern end of the park, wedged between the two county-owned properties are two tennis courts, also heavily used, but mainly by adults. The courts are open from 7:45 am to 10:00 pm seven days a week. Lessons are taught there, but the city requires that they be left open for free play as much as possible. The courts are enclosed within 10-0 high chain link fences and separated from the rest of the park by the south parking lot. This condition and their location at the "bottom" of the site have conspired to isolate them from the life of the park.



**West Hollywood Park Viewed From the South.** San Vicente Boulevard (right) is a major point of entry into the city from the south. Santa Monica Boulevard is at the top.

**Tot Lot, Children's Play Area and the Heart of the Park.** The area bounded by the Auditorium, Aquatics Facility, and Library on the west, the south parking lot on the south, the Robertson Boulevard commercial buildings, and the Robertson Grass on the east and the basketball courts on the north is approximately 1-1/4 acres in extent, well populated with mature trees and in many ways represents the heart of the park. The Robertson green itself is mainly symbolic in function (as an extension and visual connection to the street) but not useful as a programmable part of the park because of its proximity to the street; the southern slope is well-shaded and often used for sunbathing, lunching and reading, but because of its slope not useful for outdoor community functions. The area between the Robertson Grass and the south slope is intimate in scale, furnished with picnic tables and offers gracious stretches of grass in the shade of mature trees. The playground equipment for older young children is situated here within easy viewing of the tot lot with its own playground equipment beneath a canvas shade canopy just a few yards away adjacent to the Robertson "green". Both the tot lot and the children's battleground are surfaced in a softy sandy material. The proximity of the children's playground and the tot lot separated by the small-scale grassy, shaded picnic area creates ideal conditions for parents with young children to enjoy the park along with their children in an easily surveyed, controlled and safe environment.



### ***The Existing Condition of the Park***

- 1.** *The 8,200 SF auditorium is an outdated facility and currently under utilized. Its size, location and configuration are inadequate for all but a few functions. Its position at the southeast corner of the park is detrimental to the unification of open space within the park and blocks views of the green space from San Vicente Boulevard. With its back turned to the park and its ground floor elevated above the street by a half-story, the interior functions of the building are isolated from the life of both the park and the street.*
- 2.** *The south parking lot is inadequately sized for public meetings--attendees use the San Vicente street parking and the Melrose alley south of the tennis courts. Patrons of the commercial establishments on Robertson and Santa Monica Boulevards use this lot. It is conveniently located, but its asphalt surfaces dominate views of the park especially from the southern approach along San Vicente and from within the park itself looking south.*
- 3.** *The one-story, 5,000 SF county-owned library is of the same vintage as the auditorium and in a deteriorated physical condition. Low-slung, with its back to the ball field and basketball courts, its roof at eye-level from the upper areas of the park, shrouded in trees--the library, despite its prominent position, is barely visible and hence has little presence physically, functionally or symbolically within the park or the city as a whole. Its location and configuration are detrimental to the overall unity of the park.*
- 4.** *The north parking lot (40 spaces) forms the San Vicente frontage of the park from the library north. This lot serves mainly the library and ball field, but also patrons of the Santa Monica Boulevard commercial establishments. Together with the diagonal parking within the San Vicente right-of-way this parking forms the dominant visual impression of the park to passersby entering and exiting West Hollywood via San Vicente.*
- 5.** *The 25-yard swimming pool lies between the auditorium and library and is set within a concrete deck elevated approximately one-half story above San Vicente, separated from the street by a chain link fence and a strip of grass and trees. A half-story retaining wall running along the west side of the pool deck makes the transition to the heart of the park above and to the west. The pool deck is thus visible from the street, while the park is not. A one-story, roofless pool house serves the pool from its north side.*
- 6.** *The strip of grass running along the front of the pool facility is host to some of the most spectacular mature trees on the park site, but because of its proximity to the street, its narrow dimension and small size this area is not useful as an integral part of the park.*
- 7.** *Wedged between the pool house and the library a set of concrete steps, covered by a metal lattice canopy, makes the half-story transition from the San Vicente sidewalk (and front of the library) to the elevated western areas of the park. They also serve to make pedestrian linkage across the park from San Vicente Boulevard to Robertson Boulevard.*
- 8.** *The county-owned, city run, Ron Stone Clinic is a one-story brick building of roughly the same vintage as the auditorium, pool and library. A parking lot on its west side is contiguous with and accessed via the south parking lot. Its is lower than the elevation of the park at the north end. This property is not currently within the park boundary.*
- 9.** *West of the Ron Stone property two paved, fenced tennis courts form the southern boundary of the park. They are separated from the park by the south parking lot, and hence are not integral to life in the park. The Melrose alley runs along their south side.*
- 10.** *Further west is the county-owned, unused El Tovar Maintenance Yard with its one-story shed building and some dumping depots. This property is accessed via El Tovar Place from Robertson Boulevard.*
- 11.** *The El Tovar Place cul-de-sac and the Werle Building on its north flank are city-owned properties. The cul-de-sac affords pedestrian (but not vehicular) linkage between the southwest corner of the park and Robertson Boulevard.*
- 12.** *The "Robertson Grass" is relatively treeless and mainly used as a thoroughfare for patrons of the nightclubs, bars and restaurants. While linking the park to Robertson Boulevard, this area is not useful as an integral part of the park. The sand lot, originally intended as an exercise station is mostly not used.*
- 13.** *The ball field is heavily used for informal recreational play and its turf is visibly stressed by overuse and lack of "rest." Fenced in on all sides, with a tall protective screen along the alley on its north side, bleachers on the west side and a tall chain link backstop the ball field has the appearance of compliance with regulation standards, but its backfield is seriously undersized thus disqualifying its use for regulation play.*
- 14.** *The paved and fenced basketball courts are separated from the ball field by a chain link fence and a 3-0 or 4-0 high retaining wall. The one full court and two half-courts are populated with players throughout the day and evening hours.*
- 15.** *The Tiny Tot building and the public restrooms are both one-story buildings, inappropriately located and inadequate in size. Together with the canopied tot lot, these facilities effectively cutoff the central areas of the park from Robertson Boulevard.*
- 16.** *The south slope, the children's playground area and the picnic areas are the heart of the park. Plentiful grass and trees make this the most pleasant area of the park for informal, unprogrammed uses most typically associated with the American city park. This area is also host to many organized, family-oriented activities, although the south slope is considered too steep to support such programmed events.*





**The Existing Park.** Buildings, outdoor recreation facilities, fences and walls crowd the 6.6 acres of the park to the extent that realistically only 1 acre is left for what most would consider legitimate park open space.

### The Point of Departure: Components and Variables

An analysis of the existing park and a vision for a renewed one begins with an understanding of its setting, how it is currently used, the needs it serves and the degree of success with which those needs are served. This is as much a qualitative assessment as it is a quantitative assessment. The best place to start is with an inventory of the components and programs of the existing park and an in-depth assessment of the park's physical characteristics. Our purpose was to grasp to the maximum extent possible the "lay of the land" both literally and metaphorically in order to set the stage for a transparent and collaborative design process that would lead to a plan for the best park for everyone. This was accomplished through a combination of means:

- Visual reconnaissance.
- Extensive interaction with the park and its users.
- Interviews, meetings, focus groups and workshops with city council, the steering committee, stakeholders and interest groups and city staff.
- Visual documentation and analysis with the aid of drawings and diagrams.

### Park Master Plan Requirements.

An understanding of the requirements for a renewed park was achieved through the combination of review of previous needs assessments and documentation, interaction with the park's users, city council, the steering committee, stakeholders, interest groups and city staff in conjunction with an analysis of what is there now, the potential of the park to accommodate current and future needs and speculation on opportunities afforded by the park site and its context. The relationship between what was desired and what was possible was critical in making key decisions on the direction of the master plan and prioritizing short-term goals in fulfillment of the plan.

Critical factors beyond the park site's size and shape were:

- Economic feasibility--costs incurred in the implementation of components of the plan;
- Implementation feasibility--staging or phasing of components over time;
- The social, legal and political context that sets priorities and strategy.

### Park Master Plan Variables.

The variables that were to be considered in the planning of the park and that emerged over the course of the Reconnaissance and Analysis Phase included: A comprehensive assessment of the park boundaries and opportunities for park expansion such as some adjacent county-owned properties as well as city-owned and commercial properties; the extent, configuration and quality of unprogrammed open space---that is, grass and trees; the quantity and configuration of recreational fields and facilities for all ages; the relative locations of the key components such as the library, recreational fields and facilities, parking and open space; and, finally, the topography of the site.

### The Components of the Existing Park

- **The Library.** Currently housed in approximately 5,000 SF the library is admired for the quality of its staff, services and programs. The facility itself is out-dated and considered inadequate.
- **The Aquatics Facility.** This 25-yard facility was built in the early 60's as a seasonal facility. The pool is now open year-round, from early morning to late evening, seven days a week. It has out grown its original purpose and design.
- **The Auditorium.** At 8,200 SF with large auditorium space with a stage, a kitchen and some minor support spaces this building is considered inadequate for most recreational uses; it is the site of bi-weekly City Council and Planning Commission meetings.
- **Children's Playground, the Tiny Tot Building and the Tot Lot.** The children's playground is located in the heart of the park and features state-of-the-art playground equipment; the tot lot has equipment sized for very young children, and is shaded by a canvas canopy; The Tiny Tot building includes offices and a small multipurpose room.
- **The Ball Field.** Fenced in on all sides with a high screen at the outfield, with a set of bleachers on the east side, and a high backstop the ball field is undersized for regulation play. The turf is nevertheless worn due to heavy and constant use.
- **Basketball and Tennis Courts.** The basketball courts are just south of the ball field, paved and fenced; they include one full court and two half-courts. The two tennis courts located at the southernmost edge of the park are regulation size fenced and paved.
- **North and South Parking Lots.** The north lot serves the library and ball field with 41 spaces and is also used by patrons of the commercial establishments along Santa Monica Boulevard. The south lot serves the auditorium, tennis courts and the park with its 70 spaces.
- **The Robertson Grass.** This area's lack of trees and proximity to the street disqualify its use for children's play areas or many other park uses. The sand lot was intended for physical exercise, but is not used a lot. Patrons walk their dogs here, and there are dog-training classes held in this area.
- **The South Slope.** This grassy slope is part of the "heart of the park". Some of the most mature trees are located here; its steep slope prevents its use for outdoor programs or congregational uses.
- **Miscellaneous.** Public restrooms are located near the basketball courts and Tiny Tot building. Minor strips of landscape separate the auditorium, pool and library from San Vicente Boulevard and are host to some of the more spectacular trees on the site.

## The Components of the Master Plan

- **Open Space.** A major priority of the City has been the city-wide incorporation of green, un-programmed open space whose predominant characteristics would include grass, trees, promenades and paths for walking and jogging, as well as areas for socializing and relaxing. The master plan was to therefore maximize un-programmed open space as the key component of the park and as part of a larger landscape and open space plan for the surrounding area.
- **The Library.** A comprehensive program was developed in 2000 which describes a 30,000 SF replacement facility with reading rooms, community rooms, reference and research libraries and a small cafe. City Council directed that West Hollywood Park will be the site of the new library.
- **The Aquatics Facility.** The existing pool is heavily used and considered a critical asset of the city and this park. In the retention or replacement of the pool expansion of its size and amenities were to be considered such as an indoor pool and/or a 50-meter long course to support both competitive uses and recreational/educational programs.
- **Children's Playgrounds.** The two playground areas, the picnic area and the Tiny Tot building are critical components of the existing park and were to be retained, enhanced and/or replaced in the park master plan.
- **Recreation Fields and Courts.** The existing ball field, the basketball and tennis courts were to be retained or replaced in the master plan. Whether these facilities would be expanded in number and quality in the future--and if so, where, how and when--was a major consideration of the park master plan. Paved outdoor courts are an obstacle to the maximization of unobstructed open space; thus, their integration with other components such as structured parking as roof-top facilities were to be considered in the master plan.
- **Recreation Facilities.** The incorporation of a major indoor facility in the form of a multi-purpose family recreation center with auxiliary uses was expressed as a strong possibility in the master plan. This would be a family-oriented facility with a fitness/wellness center, dance and exercise studios, multi-purpose rooms etc.
- **Community Rooms.** The location of the auditorium like the library and pool was to be re-evaluated in the master plan. As the site of bi-weekly City Council and Planning Commission meetings as well as other programs and services the removal of the auditorium is necessarily part of a larger conversation about where these functions ought to occur in the City at-large, and if in this park, where and in what form.
- **Parking.** The expansion and consolidation of parking within or adjacent to the park is a high priority for the City. The master plan was to evaluate the feasibility of accommodating anywhere from 400-600 spaces for the park, adjacent and nearby commercial establishments and general public use in the area.

## The Variables of the Master Plan

- **Park Boundaries and Property Acquisition.** The master plan evaluated the feasibility of expansion opportunities, analyzing the costs and benefits of their appropriation and how they would be used to expand the park open space or as sites for facilities and/or to integrate the park better with its surroundings.
- **Quantity, Configuration and Quality of Open Space.** It is not just the quantity of open space that matters in a successful park, but its configuration and its overall quality and character. Lots of open space that is yet fragmented and scattered may not yield workable areas for outdoor functions of the park nor--more importantly--the perception of a substantial park environment. The park environment is given character through the composition of trees, grass and landscape, manipulation of the ground plane and the articulation of its surfaces.
- **Quantity, Size and Configuration of Recreation Facilities.** The degree to which replacement and/or expansion of recreation facilities and how much, how and when these are accomplished are issues which present a wide variety of options for the configuration of the park; and, they will greatly influence its extent, shape, function and character. Issues of demand, costs and benefits was weighed in the context of the intense need and desire for increased open space in the City and West Hollywood Park.
- **Locations of Major Components.** Buildings, courts and fields are related to and somewhat dependent on each other; their relative locations are to a degree dependent on these relationships and will greatly influence the configuration and character of the open space of the park. Parking, for example, must be provided in proximity to the library; the children's playgrounds should not be far from the park office and the tiny tot facility; and the aquatic complex may want to be integrated with a comprehensive recreational facility.
- **Quantity and Configuration of Paved and Unpaved Surfaces.** Storm water runoff, heat retention, and air quality in urban areas are important considerations in the planning of a park within a city such as West Hollywood. The selection of permeable paving surfaces, the maximization of landscaped and turf areas, the concentration of mature trees are all means by which parks are powerful players in the quality of the urban environment and the minimization of the City's impacts on the local and regional natural environment.
- **Topography.** The site of West Hollywood park slopes nearly forty feet from the intersection of Santa Monica Boulevard and San Vicente Boulevard at the northern end to the intersection of Melrose Avenue and San Vicente at the southern end. The park itself slopes 27 feet or two building stories from its north corner to the south corner along San Vicente. Opportunities to correct extreme slopes within the park and to vertically stack park components are an important variable in the master plan.



## Challenges.

In consultation with City Councilmembers, stakeholders and interest groups and City staff and with the guidances and recommendations of the Parks Master Plans Steering Committee the following were identified as the principal challenges facing the existing park and the plan for its renewal. This list was neither scientifically derived nor exhaustively conclusive; however it did represent to the best of our ability the consensus of the community. Clearly not every detail was addressed, nor could every detail be addressed in the master plan. These were, however, the global issues that more than any other considerations set the stage for the development of strategies for the park.

**1. Fragmented Open Space.** The three principal structures in the park--the auditorium, pool and library-- obscure the visibility of the park and prohibit the formation of coherent unified open space. The buildings separate the heart of the park from the landscaped areas along San Vicente and other areas of the park and thus not only reduce the area of open space but its contiguity as well. The intimacy of the heart of the park, however, is a valued trait and one to be acknowledged in strategies for the expansion and unification of open space. The articulation of open space through landscape design is a key strategy to pursue in order to preserve and or recapture the feeling and reality of the intimacy and control that is so valued in the existing park.

**2. Unsatisfactory Boundary Conditions.** Chain link fences, substandard alleys and the back sides of commercial buildings are visually inadequate, functionally unworkable, and unsafe at three of the four park boundaries. These conditions do little to contribute to the quality of the environment of the park; they work against the integration of the park into the daily life of the City; and they prohibit potentially positive, mutually reinforcing relationships between the commercial properties and the park.

**3. Weak Presentation at Park Frontages.** The notion of the park as an out-of-the-way refuge from the bustle of the streets is appealing for those who use the children's playground area (the heart of the park) and contributes to a sense of seclusion and intimacy there. But a fundamental role of the park is to provide visual relief within the urban fabric, a fragment of nature within which promenade and congregation take place as an integrated component of a city-wide parks, green space and urban forestry network. This park is removed from view and lacks visibility and identity as a shared civic amenity within the City and is therefore not integrated into the daily civic experience of West Hollywood.

**4. Little Linkage with Surrounding Fabric.** Physical connections to the surrounding neighborhoods are related to the park's visibility and its integration into the experience of the City. This park is remote from residential neighborhoods. It is surrounded on three sides by commercial properties and on the fourth by a seven lane traffic artery. Having recently completed the widening of the sidewalks and the establishment of allees of trees along Santa Monica Boulevard this street has been transformed into a principal east/west pedestrian promenade across the City; and yet it has virtually no visual nor physical relationship with the park. While conditions allow for connection with Robertson

Boulevard in two locations (El Tovar and the Robertson Grass) the park does not currently capitalize on those conditions, and the street is essentially outside of the experience of the park and vice-versa. The width and treatment of San Vicente prevents meaningful relationship with the open areas of the Pacific Design Center. The slope of the site prevents visual linkages from within the park to the larger geographic setting of the City and the Hollywood Hills.

**5. Topography.** The ball field is on a sloped plateau at the northern part of the park, separated from basketball courts and the rest of the park to the south by a 3-4 foot retaining wall. The library sits another half-story below the basketball courts such that the roof of the library and its mechanical equipment is visible from most areas of the upper half of the park. Further south, the pool sits on a deck which is elevated a half story from San Vicente, and depressed a half story from the heart of the park to the west. The net result is a series of plateaus that further fragment the coherency of the park. The south slope of the heart of the park opens the vista from the playground areas directly onto the south parking lot, the tennis courts, chain link fences, the alley and the back sides of the Melrose commercial properties. The slope of this grass area is considered by recreation staff too steep to allow for organized and/or congregational uses. And the auditorium in its current position is elevated a half-story from San Vicente further isolating this facility from the park and visibility of the park from the principal approach into West Hollywood along San Vicente.

**6. Inadequate Facilities.** The users of the library revere the staff and the quality of its services; and yet most users know that the one-story 5,000 SF facility built in the early 60's, isolated from the rest of the park, barely visible from the street is an inadequate facility to meet the needs of the City. The pool and pool house were built around the same time as a seasonal facility (summer only). While parts of the facility have been renovated and while its users generally find it satisfactory as a facility it barely accommodates the pressures of constant use and were it expanded could support many more programs and uses. The auditorium is host twice monthly to City Council and Planning Commission meetings, but beyond volleyball games and a few dancing and acting classes and miscellaneous other uses the auditorium is generally felt to be too small on the one hand (for indoor recreational activity) and too large on the other (community meeting and gathering space). It is, according to previous studies, seismically deficient and in need of structural mitigation, repair and upgrade as well as utility systems upgrade to meet current State of California Energy Codes (Title 24). The softball field is notoriously restricted in the depth of its outfield, so much so, that the city was forced to construct the high protection screen along the north edge of the park to prevent damage to the commercial buildings. The field is lined with chain link fences and bleachers and thus has the appearance of a regulation field, when in fact the city does not allow regulation play due to its non-compliant size and the slope of its outfield. The Tiny Tot building is an older building, in poor condition and smaller than its many programs require. It inadequately serves parents with young children--a growing constituency in the City and of this park.

## Opportunities

In consultation with City Councilmembers, stakeholders and interest groups and City staff and with the guidance and recommendations of the Parks Master Plans Steering Committee the following were identified as the principal opportunities enjoyed by the existing park and upon which the plan for its renewal would be founded. This list was neither scientifically derived nor exhaustively conclusive; however it did represent to the best of our ability the consensus of the community. Clearly not every detail was addressed, nor could every detail be addressed in the master plan. These were, however, the global issues that more than any other considerations set the stage for the development of strategies for the park.

**1. Intimacy and Character of the Core Park Space.** The area of just over an acre at the heart of the park is grassy and generously populated with trees. Two playground areas, one for tots the other for young children are separated by an intimately scaled picnic area and together this ensemble works well for parents with young children. Many of the users of the park frequent the park often on a daily basis specifically to be here. Its size and configuration has proven, in use, to be ideally suited to the parents' ability to keep an eye on their children, while allowing them to enjoy the park and socialize with each other. This area of the park is either to be preserved and enhanced or serve as a model for the composition and articulation of an expanded park.

**2. Potential for Integration with Neighborhood Establishments.** The fact that the park is surrounded on three sides by adjacent commercial properties is in its current condition an apparent liability. Many American parks are separated from surrounding neighborhoods by streets. As such, the potential for the parks to relate with the life of the commercial fabric of the city is not often fulfilled as it is so often in, for example, the European model of the piazza or town square. This park is not surrounded by streets; the adjacency of the commercial properties presents opportunities therefore in the planning for the future of those properties and the park boundaries into an integrated relationship beneficial to both the viability of the commercial properties and the life of the park.

**3. Potential for Visual and Pedestrian Connections to Surrounding Areas.** The Robertson grass represents an unfilled opportunity for meaningful visual and pedestrian connection between the park and surrounding public areas. El Tovar Place at the southwest corner of the park is another untapped opportunity. Visual connection to Santa Monica Boulevard will be a high priority and perhaps provide impetus for the appropriation of one or more of the commercial properties along the north boundary of the park. The northwest corner (intersection of Robertson and Santa Monica Boulevards) and the northeast corner (intersection of San Vicente and Santa Monica Boulevards) are opportunities for affording view corridors and pedestrian linkages from the major east/west pedestrian and vehicular artery to the park. The incorporation, visually, of the plaza areas of the PDC into the conceptualization of the park will both expand the perceptual boundary of the park and afford real connection across San Vicente thus further integrating the park into the public life of the City.

**4. The Park's Location Within the City.** The setting of the park at the heart of the westside of the City in the midst of some of its most dynamic commercial areas and at the threshold of the City upon approach from the south along San Vicente from Beverly Hills and Los Angeles, puts the park in a potentially meaningful position with regard to both its physical and symbolic function as a central civic amenity. The master plan will capitalize on this opportunity by enhancing its role as a kind of threshold to the city, and as a centrally located community-oriented asset. Specifically, the creation of an inspiring and beautiful foreground in an overall composition that encompasses the setting of the City at the base of the Hollywood Hills and the hills themselves will be a subtle yet powerful underlying theme in the development of the park master plan.

**5. Topography.** The topographic condition of the park that aggravates its already fragmented state is itself an opportunity toward the goal of fulfilling the potential for the park's integration with the neighborhood, visual and pedestrian connections to surrounding areas and enhancement of its location with the City. The two-story drop from the north side to the south side could provide a way to provide recreational, community and parking facilities at the lower end of the site, while simultaneously leveling the park. This could accomplish several things including the creation of more flat areas in the park thus enhancing its ability to support a wider variety of uses, accentuating the role of the park as a plateau or viewing platform from which to behold views north of the City and the hills, and enhance visual and pedestrian connection to Santa Monica Boulevard. Sensitivity to and the desire to preserve many of the existing trees in the park is a necessary counterpoint in the contemplation of the costs and consequences of manipulating park topography.

**6. Creation of Building Sites Through Property Acquisition.** It is clear from the outset that the appropriation of the Ron Stone Clinic and El Tovar Maintenance Yard is a way to create an efficient, consolidated building site. In assembling these properties with the tennis courts and the south parking lot a long rectangular site with sufficient breadth is created of the dimension and proportion appropriate to many of the uses the park site needs to accommodate, such as parking, game courts and other facilities. The Werle Building site and El Tovar Place present opportunities for a building to mediate the park's relationship with the neighborhoods to the south and west; while the commercial property at the northwest corner is an opportunity to strengthen a visual and pedestrian relationship with Santa Monica Boulevard, through the placement of community facilities such as the library and meeting rooms. Property acquisition is our best tool for the accommodation of new facilities while minimizing intrusion onto the park and maximizing open space.

## Goals of the Master Plan

In consultation with City Councilmembers, stakeholders and interest groups, City staff and with the guidance and recommendations of the Parks Master Plans Steering Committee the following were identified as the principal goals that guided the development of a comprehensive master plan for West Hollywood Park. This list is neither scientifically derived nor exhaustive; however, it did represent the consensus of the community. Not every detail was addressed, nor could every detail be addressed in the master plan; but these were the goals that both “set our sights” for the master plan and became the guideposts by which we evaluate the success of the outcome.

### 1. Maximize and Unify Open Space.

Of the 6.6 acres currently occupied within the park boundaries, only approximately 2.9 acres, or less than half (45%) are devoted to green space with trees for passive recreational uses. Of those, about 0.91 acres are dedicated to the ball field, a fenced off area of the park that most would consider more a recreational facility than an integral part of the park. An additional 0.93 acres are miscellaneous landscaped areas. Because of their dispersed, fragmented nature they contribute little to useful passive park space. The 1.09 acres that are left are what most consider the heart of the park--the area of the two playground areas, the picnic tables and the south slope. This area will be the model for the primary goal of the master plan which is to significantly increase the amount of passive open space--grass and trees. Unity and quality are as important aspects of this goal as quantity; it is not merely the area of green space but its configuration and articulation which will create a successful park environment.

### 2. Create a Place of Relief and Tranquility.

A traditional role of the city park is to demarcate an area within the urban environment dedicated to rest and relaxation. This place is often seen as a microcosm of nature--grass and trees--in the American tradition. The community of West Hollywood has expressed a strong need for such a place of refuge and tranquility, accessible and yet removed from the bustle and vitality of the streets. The goal is to achieve enough expanse of true park area, and enough of a separation from the activity at its perimeter to ensure the ability to “lose oneself” among grass, trees and other features of the natural world. It will be important to consider more geographically and climactically appropriate plant life in the creation of an environment authentic to Southern California.

### 3. Create a Dynamic, Enriched Civic Space.

The community of West Hollywood has expressed another aspiration for West Hollywood Park--that it become the focus of a variety of uses and services associated with the shared public life of the community. These include a new 30,000 SF library, recreational facilities such as an aquatic complex, game courts and an indoor multipurpose family

services, such as meeting rooms and offices for the delivery of social services etc. A consensus has developed that the park ought to be the place where these facilities and their related activities congregate. The rationale expressed has been that it is not so much that there are few alternate locations in the city that justifies this goal, but rather that it enriches the life of the park by attracting the full diversity of the community to one place within the city and enhances its role as a civic amenity within the life of the city.

### 4. Integrate Park with Daily Life of the City.

As a place of relief and tranquility on the one hand and an active, enriched civic place with a variety of uses on the other, the park will evolve into an attractive destination for the community. An equally important role of the park and a goal of this master plan is that it integrate with the daily experience of the immediate surrounding commercial areas (and more distant residential areas) as well as the city as a whole. Many in the community have expressed it as “*the park as a crossroads.*” Inherent in this vision is the integration of the park into the existing pedestrian and vehicular circulation patterns and the consideration of the park as an extension of a larger open space and landscape network. Promenades through and around the park linked with the surrounding boulevards, particularly Santa Monica Boulevard, the placement of parking in a way that it enhances pedestrian circulation in and across the park and surrounding areas, and the fronting of commercial and community uses onto the park at its boundaries are examples of ways to achieve this goal.

### 5. Enhance Commercial and Residential Life in this Part of the City.

Examining opportunities at the park perimeter, understanding the dimension, configuration and location of surrounding public and private properties and their existing and potential relationship to the park are important aspects of understanding the park’s relationship to its setting and vice-versa. The park plan will create opportunities for the city to intensify, elaborate and refine its commercial and residential building stock in this area of the city, and further integrate the park into daily city life. The park master plan will seek to identify such opportunities for commercial and residential development around the park for pragmatic and economic as well as qualitative gains. The creation of the park itself will set the stage for more intelligent land-use development in the immediate area.

### 6. Create a Threshold to and Face of the City.

Given its location along a major point of entry from the south, San Vicente Boulevard, and within a dynamic area of the westside of the city that many consider the heart of West Hollywood, across the street from the Pacific Design Center, the park could potentially become a kind of threshold or vestibule to the city. Situated at the base of the hills that define the geographic setting of the city, the park could become a platform from which to behold the city’s setting. With attention to its presentation at its frontages the park will become a means to present a dignified public face that in time creates a meaningful shared identity for the community, as much symbolic as functional--the kind of physical presence worthy of a postcard, a way to remember, collectively, West Hollywood.



## Guiding Principles of the Master Plan

In consultation with City Councilmembers, stakeholders and interest groups, City staff and with the guidance and recommendations of the Parks Master Plans Steering Committee the following were identified as the planning principles that were to guide the development of a comprehensive master plan and the achievement of the commonly agreed upon goals for West Hollywood Park. This list was neither scientifically derived nor exhaustive; however, it did represent to the best of our ability the array of tools at our disposal given a comprehensive understanding of the challenges and opportunities facing the park and in light of the goals for its future. Intended merely as a framework upon which to give structure to the process the principles were enumerated to create an environment of shared understanding throughout the development of the park master plan.

### 1. Consolidation, Vertical Integration and Phased Implementation.

The need to enhance, replace and/or expand community and recreational facilities while simultaneously achieving park expansion and unification requires the consolidation of facilities and buildings--probably at the park perimeter; and further that techniques of vertical integration be called upon in order to minimize the consumption of land area. The costs of stacking unlike functions will be weighed against the cost and availability of land for building sites and the priority of maximizing park open space. The ability to replace facilities while keeping existing ones functioning is an advantage of consolidation at the perimeter. Issues of implementation are critical in understanding how best to plan for the replacement and possible expansion of facilities over time while maintaining a sense of completion within the park along the way.

### 2. Perceptual Expansion.

Given our ability to control the configuration and character of the park perimeter, and given some of the advantages of the location--the generous width of the existing San Vicente right-of-way, the existing (and soon to be renovated) PDC plaza across San Vicente, and the topography, techniques will be employed to not only expand real park open space but to enhance the perception of expanded open space. Narrowing of the San Vicente right-of-way will unify the PDC plaza with an expanded park; raising the lower areas of the park ground surface to approach the elevation of the north areas will not only create more useful (flat) and programmable park areas, but will dramatically improve the position of the park vis-a-vis Santa Monica Boulevard and the Hollywood Hills. The possibility of appropriating the property at San Vicente and Santa Monica could provide opportunities to open the vista to and from the boulevard.

### 3. Double-Front.

The fact that the back sides of commercial properties, alleys, service docks and parking and chain link fences form three of the four park boundaries has been expressed as both a challenge and opportunity for the park. A long term strategy for the planning and zoning

of the properties along Santa Monica Boulevard, Robertson Boulevard and Melrose Avenue will contribute significantly to the achievement of at least three of the six goals for the park. For the properties along Santa Monica boulevard in particular, we will be examining dimensional and topographical qualities in order to understand how best to plan for their long term development into buildings with double-fronts and mixed uses, addressing both the boulevard and the park, thus integrating the park with the boulevard and commercial and residential life of the city and activating the park with community and commercial uses at its perimeter. How best to handle the west and south perimeters, with either landscape or buildings in order to mediate between the park and its edges will be of considerable importance in the development of a comprehensive park master plan.

### 4. Permeability.

The perceptual expansion of the park and its integration with the surrounding areas will depend on our ability to create porosity--both visual and real--at the park perimeter. Special attention will be given to the corners of the park. Opening up lines of site and paths of travel at the northwest and northeast corners toward Santa Monica Boulevard will enhance the immediacy of the relationship with this important crosstown artery and promenade. Similar techniques will be employed to articulate connection at the southwest corner of the park to Robertson and Melrose, and at the opposite corner across San Vicente. This permeability is critical in situating the park as part of a larger vehicular and pedestrian circulation pattern and the city's landscape and open space network.

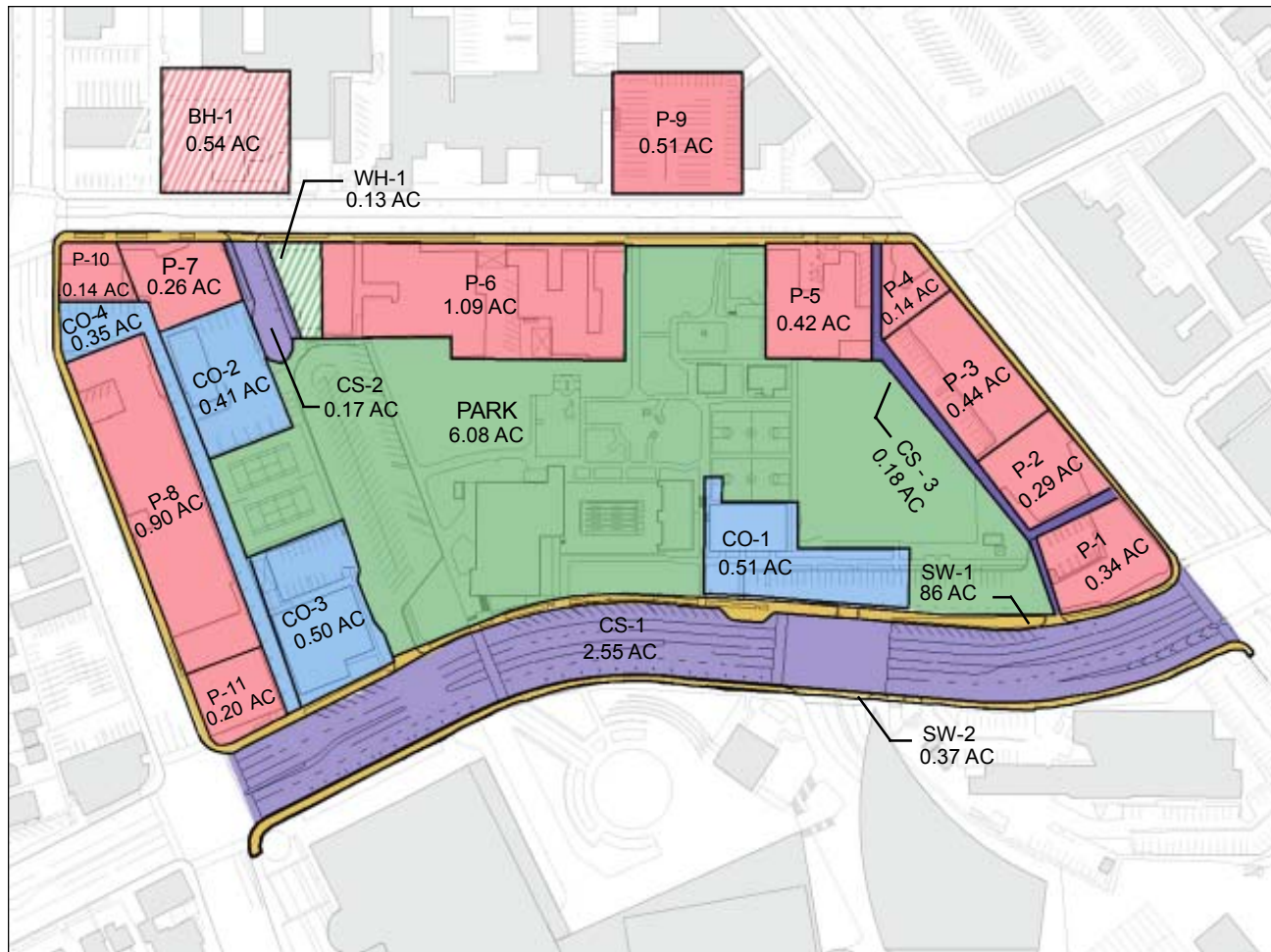
### 5. Spatial Articulation and Hierarchy.

The "livability" and use of the park will be dependent on the plan's ability to create distinctions within the overall park environment. Groves, meadows, terraces and allees, dense areas and less dense areas, garden and seating areas, paved promenades, paths and swaths and fields will, in their composition and articulation, create opportunities for a variety of experiences appropriate to both a place of tranquility and refuge and a place full of life and recreational opportunity. How the pieces fit together, how the variety is achieved within an overall unity will determine the success of the park in achieving the full range of spatial experiences from the vast and grand to intimate and modest.

### 6. The Simplicity Criterion.

The balance of the inspired and the achievable is dependent on considerations of both what is possible and what is implementable. Our responsibility is to identify the simplest ways to reach the stated goals of the enterprise; to identify those sites most suitable to the economically efficient and timely construction of facilities; those techniques that achieve maximum results in unifying park open space while minimizing costs and detrimental effects on the existing inventory of trees and landscape; and those strategies that minimize impacts on the day-to-day functioning of the park as it transforms over time. These considerations among others will influence the scope, the character and the strategies behind the master plan to ensure both its flexibility and its orderly fulfillment over time.



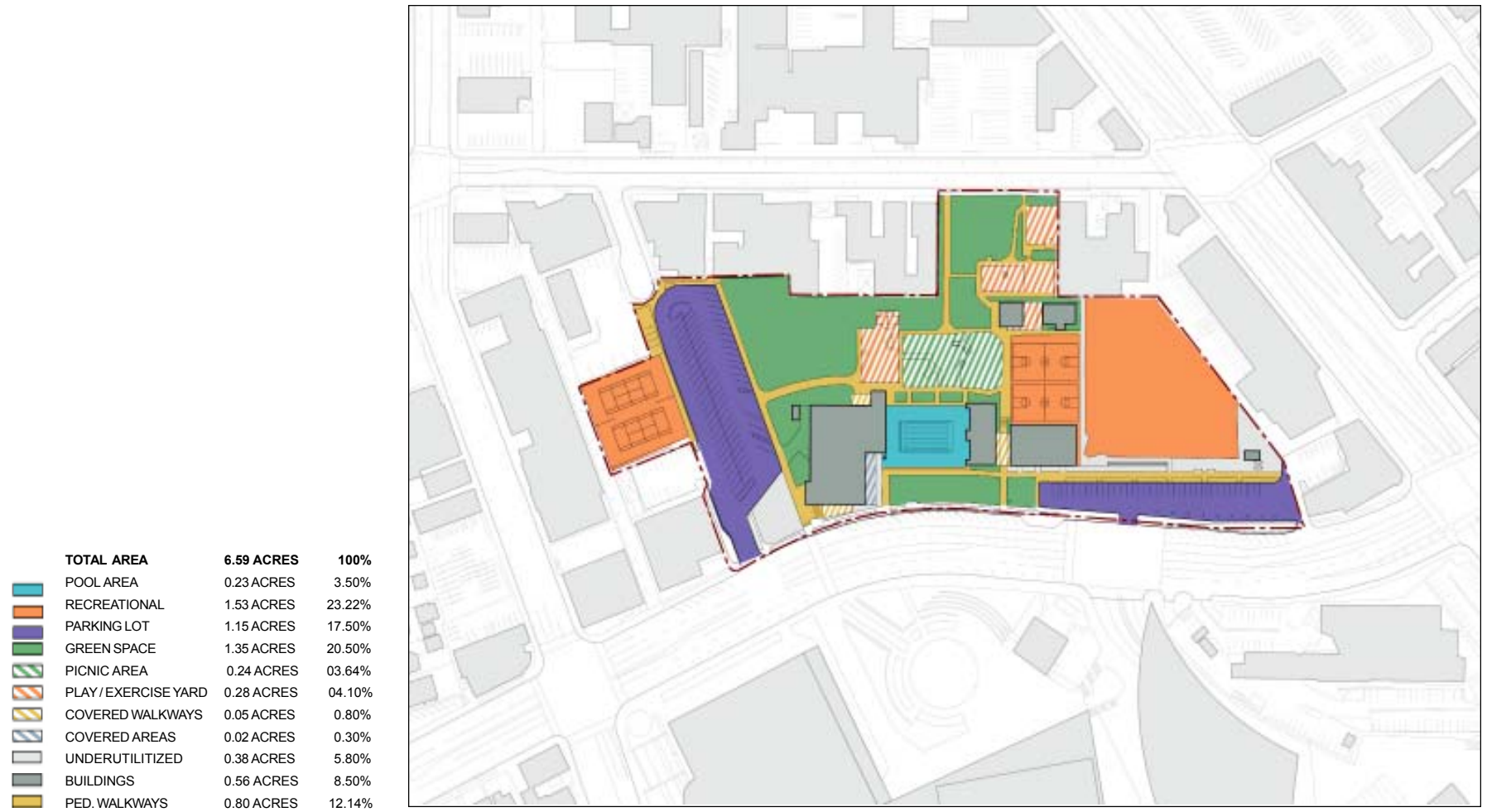


	TOTAL BLOCK AREA	16.35 ACRES	100%
	PARK	6.08 ACRES	37%
	PRIVATE PROPERTY	4.22 ACRES	26%
	WALKWAYS	1.24 ACRES	7%
	CITY STREETS / ALLEYS	2.91 ACRES	18%
	COUNTY PROPERTY	1.77 ACRES	11%
	CITY PROPERTY	0.13 ACRES	1%
	(BEVERLY HILLS PROP)*	(0.54 ACRES)	(N/A)
	(P-9)*	(0.51 ACRES)	(N/A)

\* Not a part of block area calculation.




**Inventory of Adjacent and Nearby Property Areas.** This diagram illustrates the areas of the park and surrounding properties. The adjacency of the two county properties (CO-2 and CO-3) represents an opportunity to expand the park area by as much as 1 acre. With the appropriation of the Werle Building site and El Tovar Place another 1/3 of an acre could be captured. Note that the San Vicente right-of-way between Melrose Avenue and Robertson Boulevard is almost 2 1/2 acres in overall area.



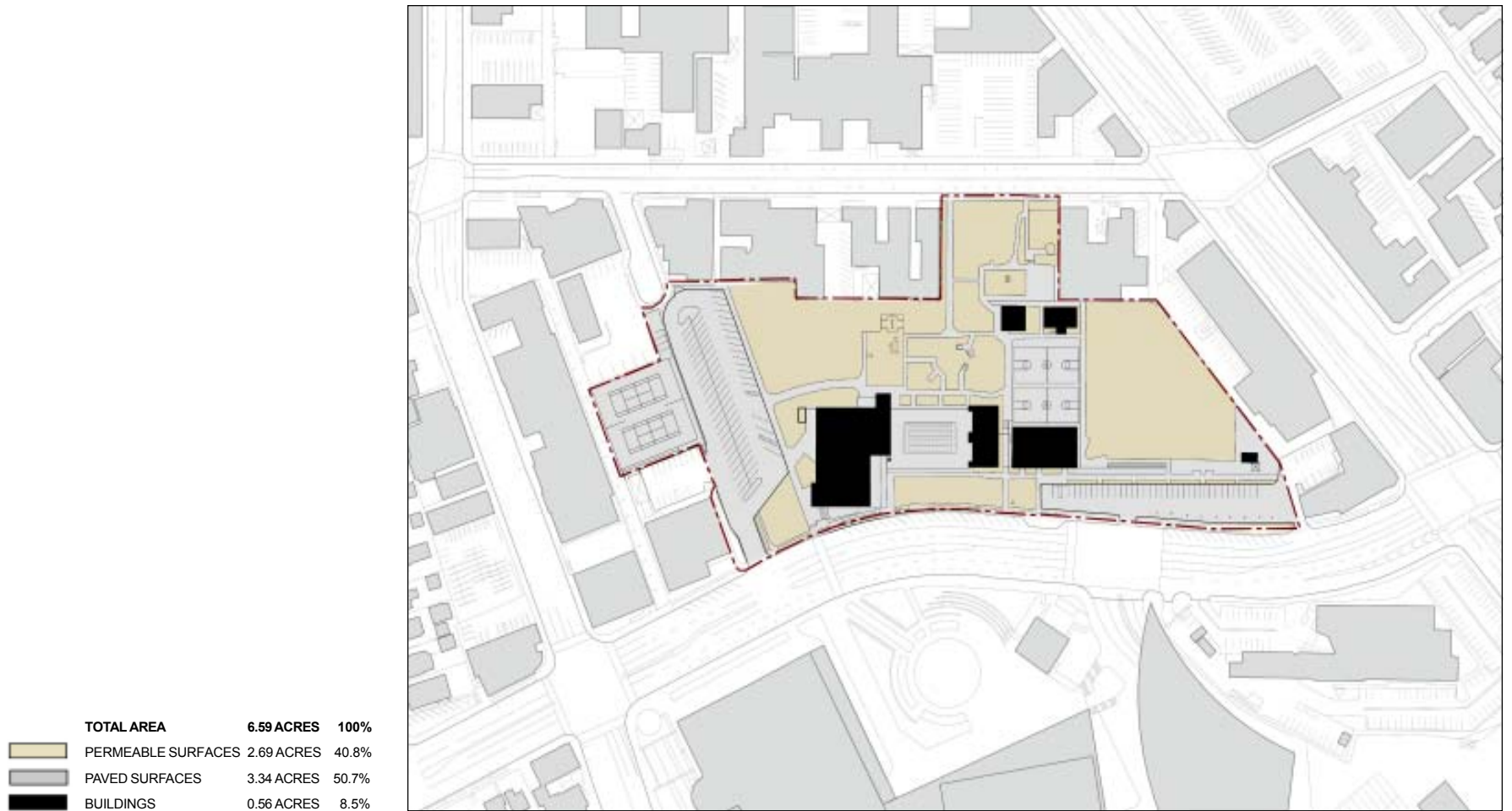


**Land-Use.** This diagram applies a color field to individual uses of the park and takes inventory of their areas as a way of understanding how the city invests one of its most precious assets--park land--with recreational, community and passive uses. Note the predominance of surface parking on the site--almost 1/5 of the total park, almost as much as the green space area. Recreational fields and courts consume about 1/4 of the area of the park.

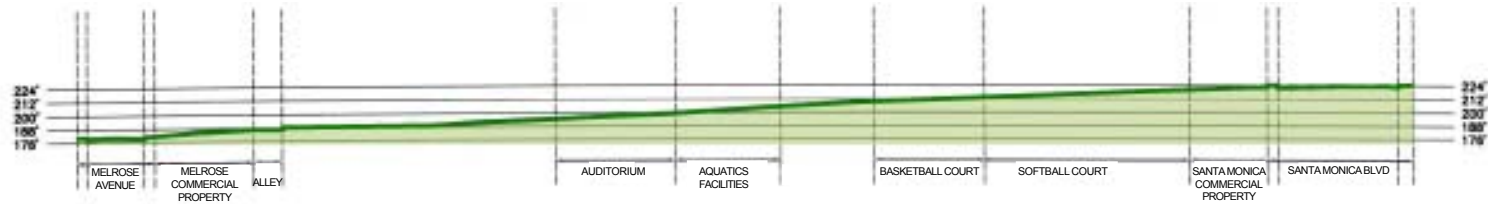


	TOTAL PARK AREA	6.59 ACRES	100%
	THE CORE PARK	1.09 ACRES	17%
	LANDSCAPED AREAS	0.93 ACRES	14%
	THE BALL FIELD	0.91 ACRES	14%
	TOTAL	2.93 ACRES	45%

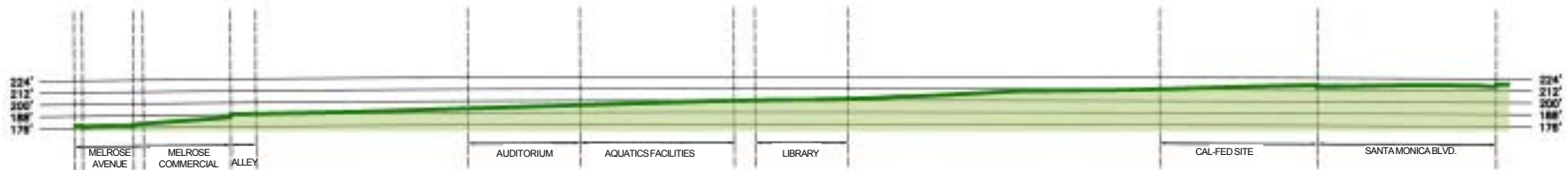
**The Heart of the Park.** Surface parking lots, paved tennis and basketball courts, paved walkways, the ball field and miscellaneous landscaped areas take up over 80% of the overall park area. The little more than one acre (1.09) left over is the part of the park that is most highly valued by families with children and that which many consider to be the heart of the park. Here children play in the two playground areas while their parents watch and socialize--all within a generally grassy area, cooled by the shade of a grove of mature trees.



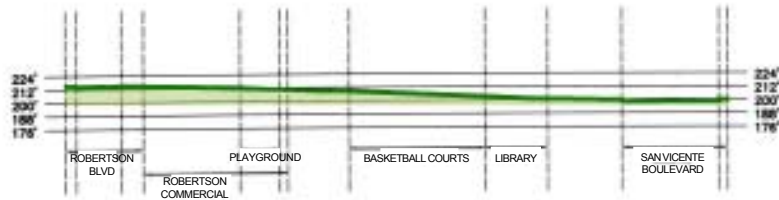
**Paved and Permeable Surfaces.** Over half (50.7%) of the existing park is paved in asphalt and concrete. With little more than 40% of the area left unpaved the park contributes significantly to the city's overall storm water runoff. A goal of the park master plan was to increase permeable surfaces through the use of turf, decomposed granite, landscaped areas and permeable hard pavements.



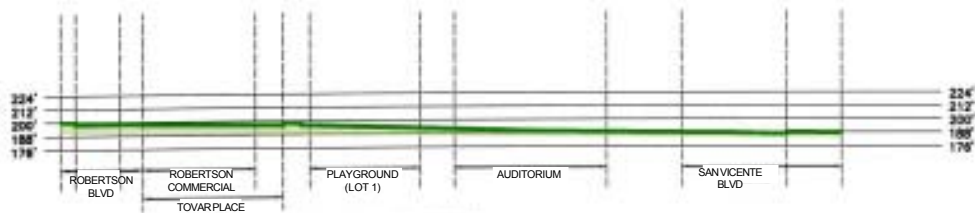
**SECTION B-B PERPENDICULAR TO TOPOGRAPHY**



**SECTION C-C PARALLEL TO SAN VICENTE BLVD.**

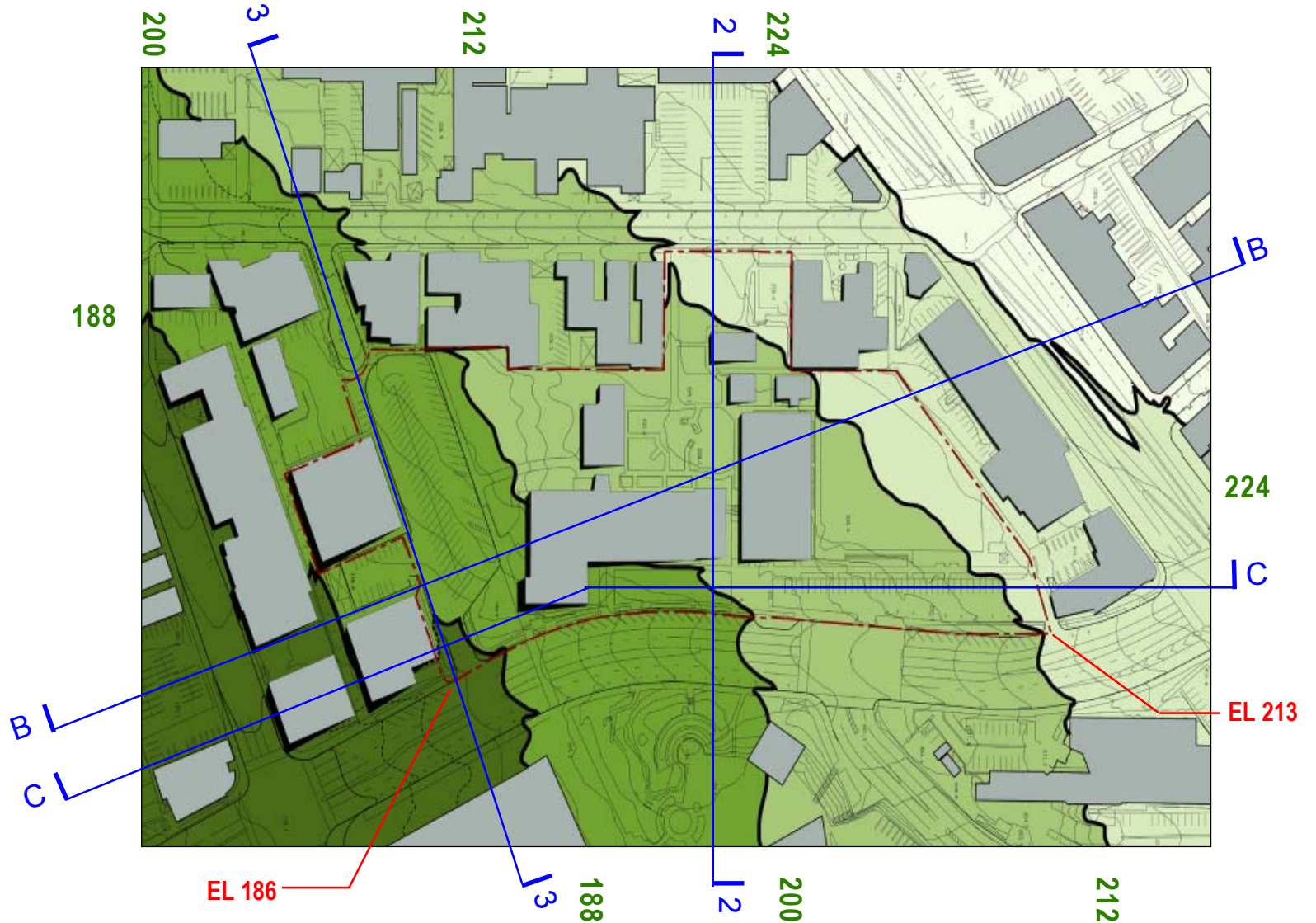


**SECTION 2-2 THROUGH PLAY AREA**



**SECTION 3-3 PARALLEL TO MELROSE AVE. (THROUGH PARKING)**



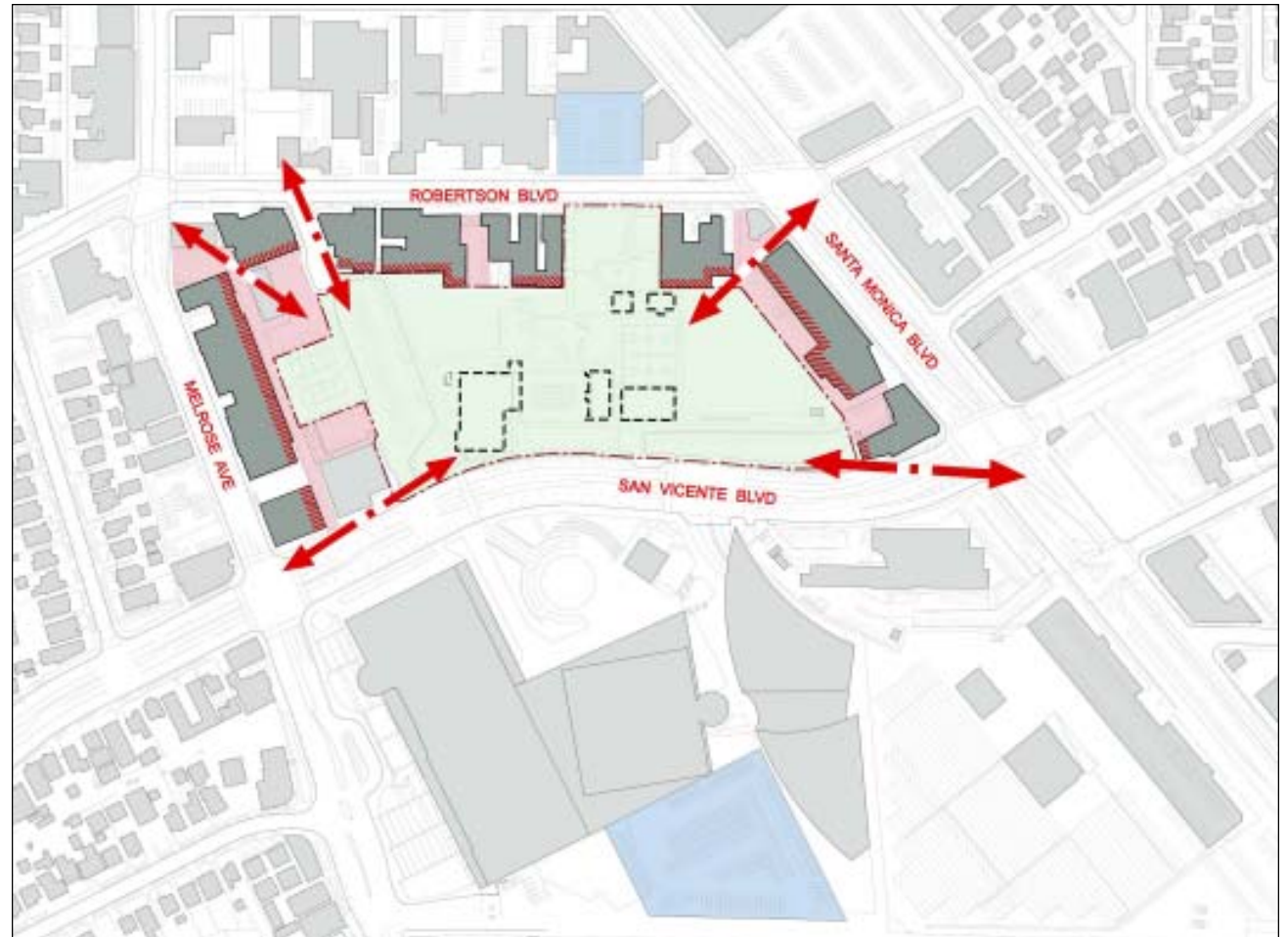


**Topography.** Like most of West Hollywood, West Hollywood Park lies at the foot of the Hollywood Hills as they transition from steep slopes to the flats of the basin. The land drops 40'-0" (from approximately El 220'-0" to approximately El 180'-0") from the intersection of San Vicente and Santa Monica Boulevards to the intersection of San Vicente and Melrose Avenue. From the northern most corner of the park to the southernmost corner it drops about 27'-0", or two building stories. In some areas of the park the way the topography has been handled (retaining walls and slopes) fragments park open space and is a liability to the quality of the overall park environment.



**Surrounding Land-Uses.** This diagram shows that West Hollywood Park is surrounded on all sides by commercial properties. This is a condition on which to capitalize in the park master plan in order to create conditions for the development of a dynamic urban place activated by commercial uses. Note residential neighborhoods just beyond the commercial zones in all directions. County-owned properties along Santa Monica Boulevard provide opportunities for possible future extension of civic and public uses as a contiguous extension of the park.





**Edge Conditions and Linkages.** This diagram shows the existing edge conditions of the park. Note that three of the four park edges are formed by the back sides of commercial buildings, substandard alleys, chain-link fences and surface parking lots. The fourth edge is formed by San Vicente Boulevard, a vehicular oriented, five-lane thoroughfare with a median strip and on street parking at both sides. The arrows show potential linkages in and out of the park to and from the surrounding areas. These linkages could be both visual and pedestrian in nature.

**The Sizes of Things and Their Costs**

An imperative of the park master plan was that we retain or replace the facilities currently existing within the park boundary. In their replacement there may be the opportunity for the expansion of facilities. In a city and on a site where land is a precious commodity and open space an intense need, where and how we replace facilities is of the utmost importance and a balancing act. Opportunities, feasibilities and costs of land acquisition would be weighed against the costs of vertical integration (stacking) of facilities and issues of constructability and implementation.

The area requirements of fields and courts are more intense than of indoor facilities; the costs of fields and courts rise as they are placed on structures, but their impact on open space is diminished. The most economical way to build a pool is in the ground; but to conserve park land we may choose to place the pool above parking or a recreational facility; both the cost of the pool and the structure beneath increase in these stacking scenarios. It is more feasible and cost effective to expand horizontally rather than vertically--better, for example to build early phase parking in smaller floor plates and higher structures that could be added onto with adjacent structures, rather than building low structures and attempting to add floors later. It is better to design and construct buildings on top of parking concurrently rather than designing and building the parking first, and attempting to anticipate the structural requirements of some future building. All of these issues will intermingle in complex ways as the vision for the master plan and a strategy for its implementation converge.

Consider the area requirements of the facilities most likely to be included in the park:

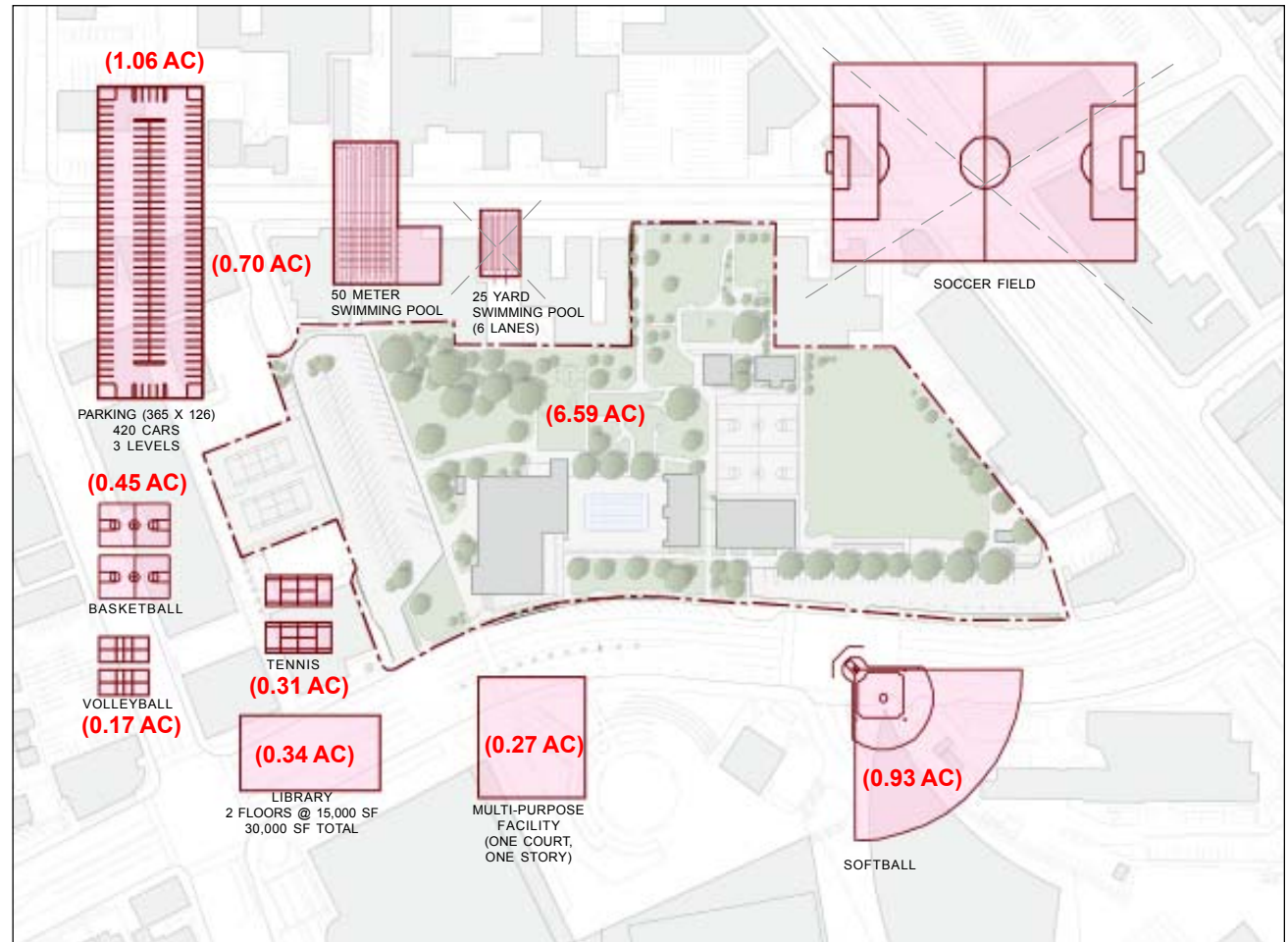
Ball field.....	0.93
Two tennis courts.....	0.31
Two basketball courts.....	0.45
Two playgrounds.....	0.20
50-meter L-Shape or two-pool facility.....	0.70
Two-story family recreation center with one-court gymnasium.....	0.27
Two outdoor volleyball courts.....	0.17
Two-story 30,000 SF library.....	0.34
Three level 420-stall parking structure.....	1.06
<b>Total.....</b>	<b>4.43 Acres</b>

Thus the total footprint area of the facilities to be included in the park is 4.43 acres or two-thirds (67%) of the available park area of 6.6 acres. In order to increase park open space the city will have to consider either the expansion of the park boundary through property acquisition/appropriation or the vertical integration of facilities or some combination of these two strategies. If the ball field is to be included it will need to assume a far less obtrusive form--more like a clearing or meadow, and less like a regulation field with lighting, equipment and bleachers.

<b>Year 2003 Unit Costs*</b>	Low	High
<b>Facility</b>	\$/SF	\$/SF
<b>Parking**</b>		
Surface	\$5.00	\$7.50
Above-grade structure	\$35.00	\$40.00
Partial below-grade structure	\$45.00	\$50.00
Below-grade structure	\$60.00	\$65.00
<b>Multipurpose Family Recreation Facility</b>		
Gymnasium***	\$215.00	\$250.00
Meeting Rooms	\$215.00	\$250.00
Offices	\$215.00	\$250.00
Fitness/Wellness Center	\$215.00	\$250.00
<b>Game Courts</b>		
At grade	\$10.00	\$12.00
On roof of unoccupied structure	\$5.00	\$10.00
On roof of occupied structure	\$20.00	\$30.00
<b>Swimming Pool</b>		
Pool	\$100.00	\$125.00
On-grade deck	10.00	13.00
Suspended deck	30.00	35.00
Poolhouse	\$150.00	\$165.00
Equipment	(\$50,000)	\$100,000)
<b>Playgrounds and Ball Fields</b>		
Field ****	\$3.50	\$5.00
Playgrounds (Rubberized)	15.00	20.00
<b>Library</b>	\$250	\$300.00
<b>Landscape</b>		
Landscaped/Paved Areas	\$10.00	\$20.00
Trees	\$750/Tree	\$1000.00
Retaining Walls*****	\$24.00/LF	\$42.00/LF
<b>Utilities</b>		
Underground utilities (LF)	\$2.00/LF	\$2.50/LF
<b>Street Improvements</b>		
Sidewalks	\$6.50	16.00
Street Pavement	\$4.00	5.00
Concrete curbs & gutter	\$15.00	20.00

\* These costs are grossly estimated and indicated for illustrative purposes only.  
 \*\* At 315 SF/Stall to 350 SF/Stall parking costs range from a median of \$1900/stall for surface parking, \$12,000/stall for structured parking and \$22,000/stall for below-grade parking.  
 \*\*\* Such as a two-court indoor basketball facility.  
 \*\*\*\* Exclusive of bleachers, lighting and equipment.  
 \*\*\*\*\* A low height of 4'-0" to a high height of '18-0".





**The Sizes of Things.** The acknowledgment and acceptance of the reality of the sizes of components that the park is to accommodate is critical to an understanding of how they shall be arranged within an overall, integrated ensemble. Parking and recreational fields, while often the least expensive per SF in monetary terms are the most costly in terms of area consumed. Not including the 25 yard pool and the soccer field, the facilities shown above together add up to 4.43 acres in footprint area, almost 2/3 the area of the park.



### **The West Hollywood Park Regulating Plan**

The most important attribute of the West Hollywood Park Master Plan is the distinction between open space and building sites. The most important document is the regulating plan which lays out the geometry of possible future building sites and defines those areas in and around the park that are not to be built upon. Referred to as “build-to” lines the boundary of building sites assures the retention of park open space where the community wants it. Build-to lines are limits however and do not dictate the shape or extent of building footprints as long as buildings fit within them; nor, importantly, does the regulating plan stipulate building type or program, except to the extent that dimensions may allow or disallow certain functions.

### **Five Major Building Components**

The five building components envisioned to be completed on sites bounded within the regulating plan are:

1. *Library*
2. *Parking Structure(s)*
3. *Aquatic Center*
4. *Recreation Center*
5. *Mixed-Use Development*

Theoretically, with the exception of the library whose location has been definitively identified within the master plan, any of the five components can be placed anywhere within the building sites laid out within the regulating plan.

### **The Inviolability of Open Space**

Within the boundary of the park those areas which do not fall within the build-to lines of the regulating plan are to be left open. In the creation of the master plan many building sites were considered, and many options pursued for the location of certain facilities in and/or around the park. Many of these were rejected for one reason or another, usually in order to preserve generous, contiguous uninterrupted park open space and to maintain clear visual and functional relationships between the park and its surrounding neighborhood. Some of these prohibited building locations are illustrated on following pages of this report.

### **The Library.**

Many locations were explored for best situating the library including all four sides of the park. The Steering Committee stipulated that the library shall be located along San Vicente Boulevard at the southeast corner of the park. All other locations were prohibited.

### **Parking.**

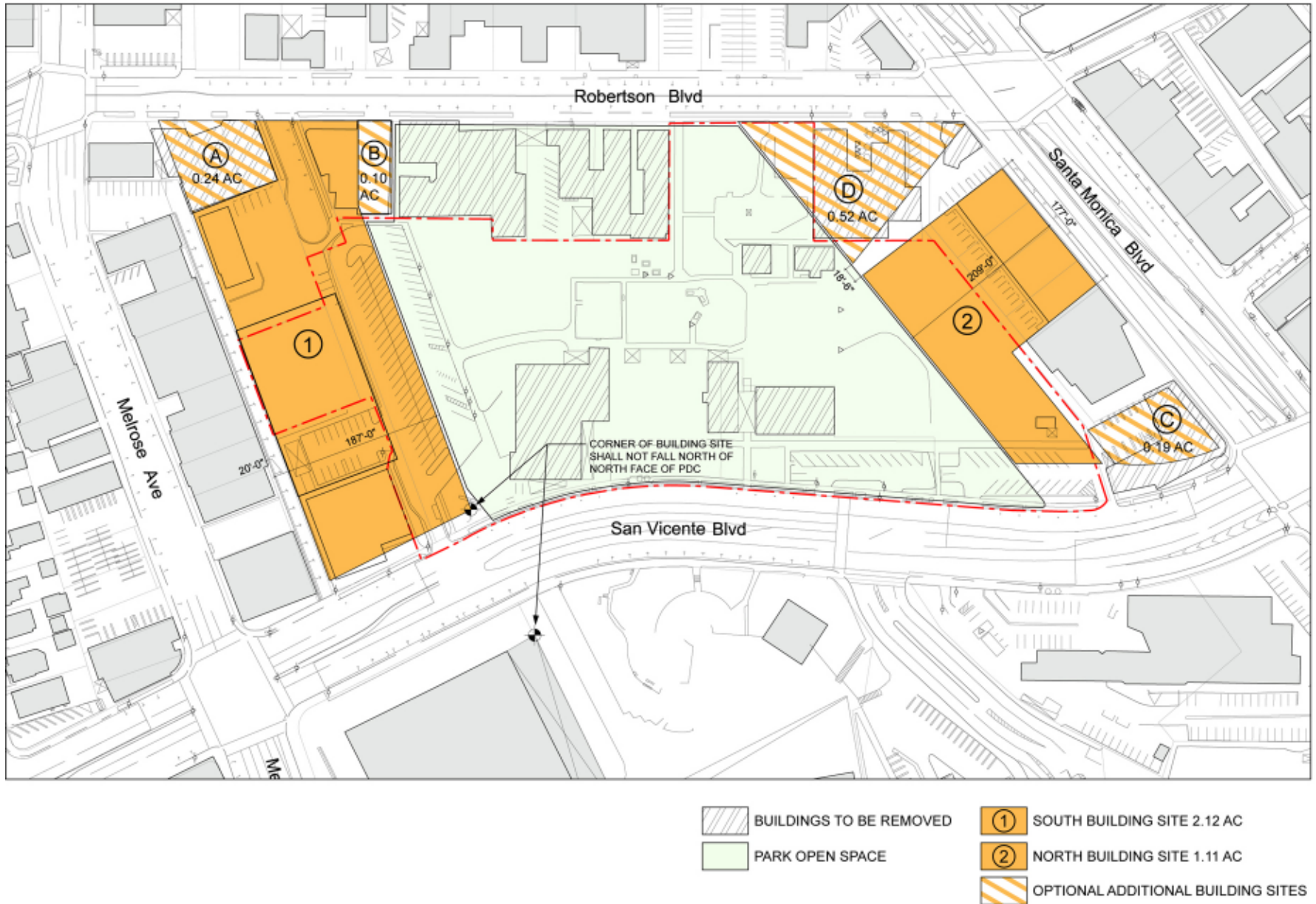
For dimensional reasons only two viable sites for parking have emerged, one at the north side the other at the south side. Within the building sites identified by the regulating plan structures are possible, but must be shielded from the park and surrounding streets by “liner” buildings with a minimum depth of 40’-0”. Maximization of parking capacity is a high priority.

### **Aquatic Center and Recreation Center**

The master plan has determined that the aquatic center and recreation center are best located at the south building site where they will not compete with possible future mixed-use development along Santa Monica Boulevard, nor disrupt contiguous open space within the park. Within the south building site, however, many options are available, as illustrated on following pages of this report.

### **Mixed-Use Development.**

Mixed commercial and residential development integrated with parking is encouraged on the north building site. Dimensional requirements of such development have been met by striking the south build-to line of the north building site through the top 1/3 of the softball field in the existing park. Note that the master plan prohibits building on this site until an equivalent amount of open space is liberated in other areas adjacent to the park.



**West Hollywood Park Regulating Plan.** The regulating plan defines building sites and open space. The “Build-To” lines are the outer boundaries of the building sites. They set limits to how far buildings can extend into open space, but do not require that buildings align with them. Those areas outside of the building sites are defined as open space to remain unbuilt upon in perpetuity with the adoption of this master plan.



### Alternate Library Locations

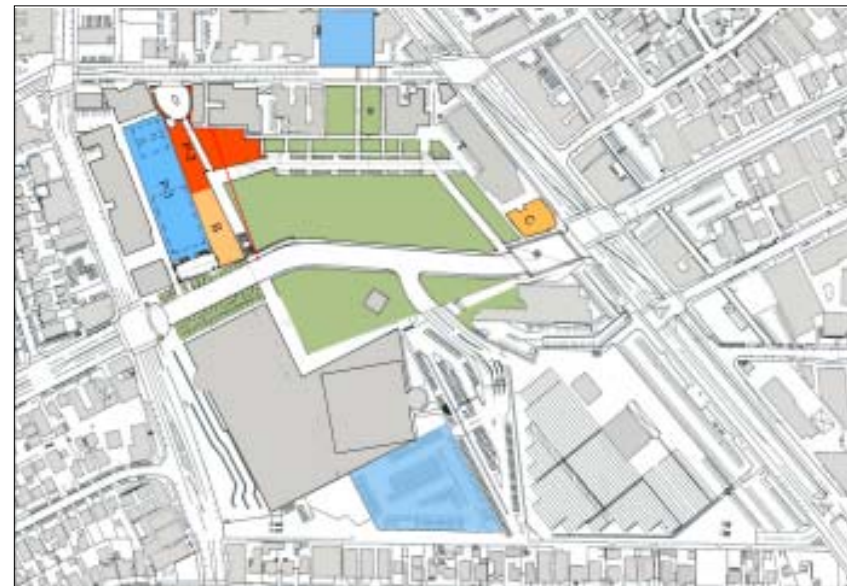
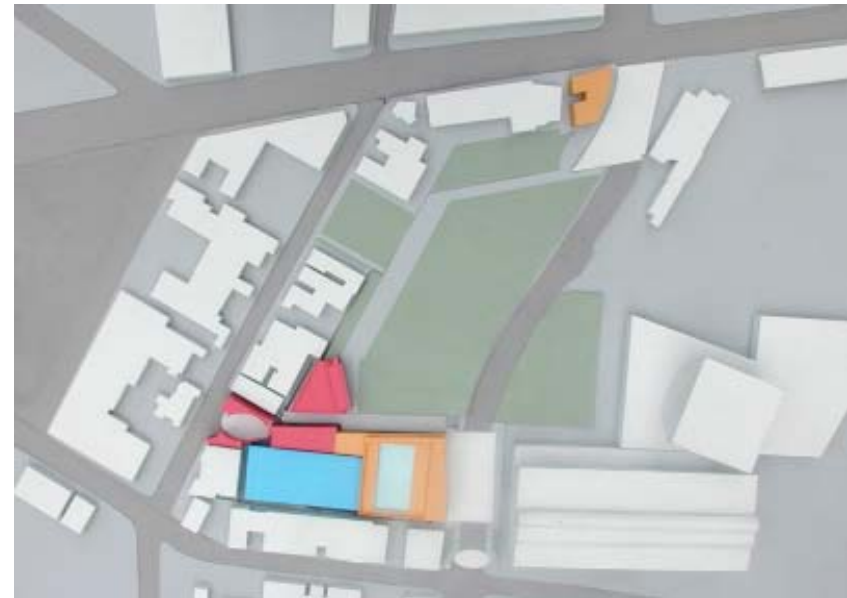
In addition to the location chosen three areas within and/or around the park were considered. Near unanimous preference for the site at the southeast corner of the park facing onto San Vicente (and the park) was expressed by the Steering Committee, the community, stakeholders and interest groups as well as Council members. The other sites considered and rejected were as follows:

**Robertson South** This scheme placed the library at the southwest corner of the site facing onto both Robertson Boulevard and the park. It would have created a public face onto Robertson Boulevard complementing the shops, restaurants and nightclubs already there with a modestly scaled civic structure. Its design would have required the retention of open passage at this key interface between the park and the neighborhood, as is required by the master plan. Such a passage created complexities for the efficient organization of the library that proved insurmountable. Also, the visibility of the library from both Santa Monica Boulevard and the park is questionable in this scheme.

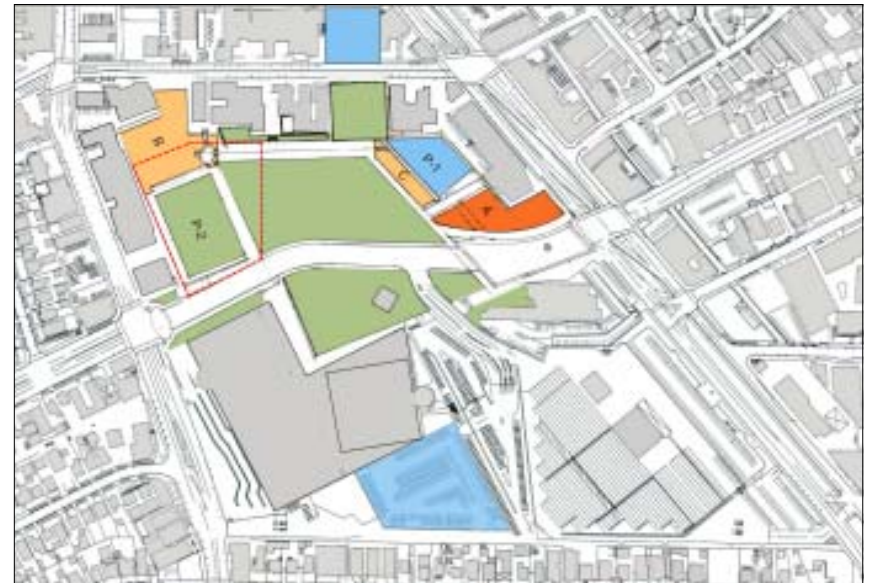
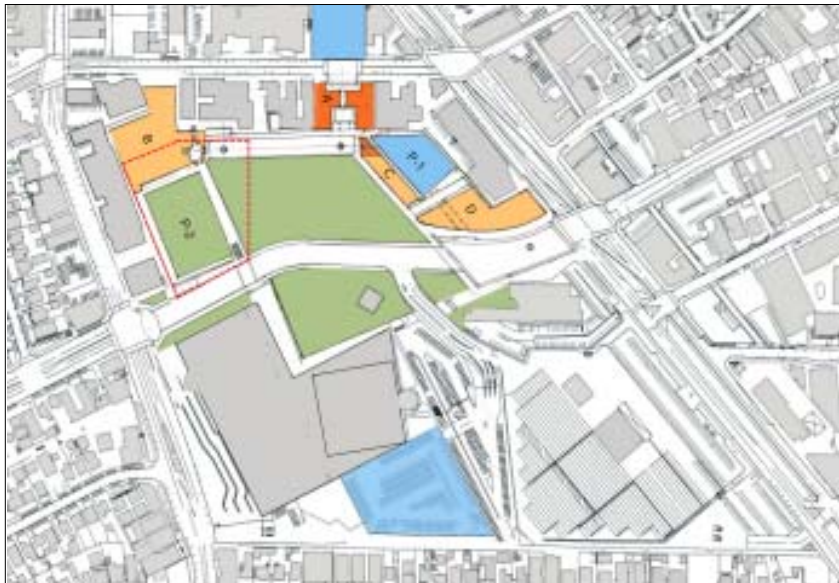
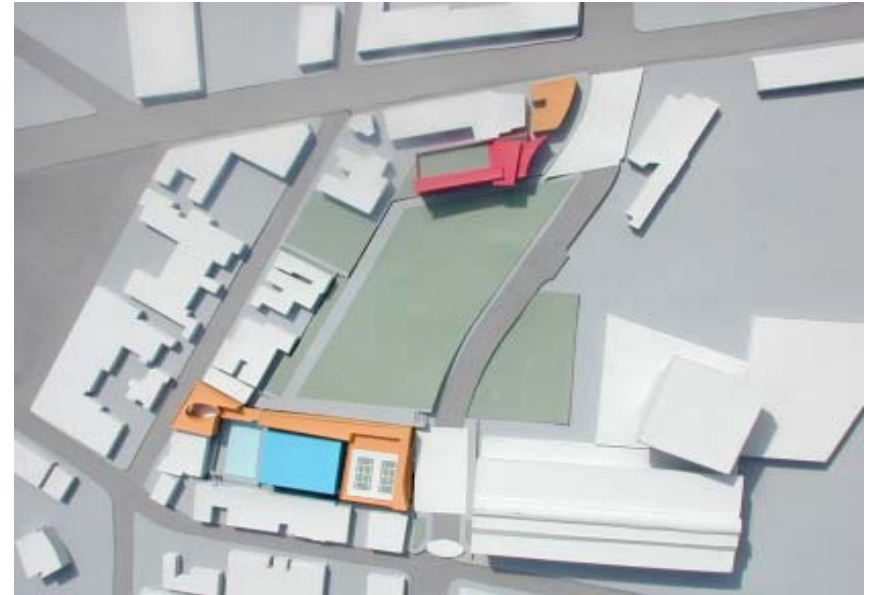
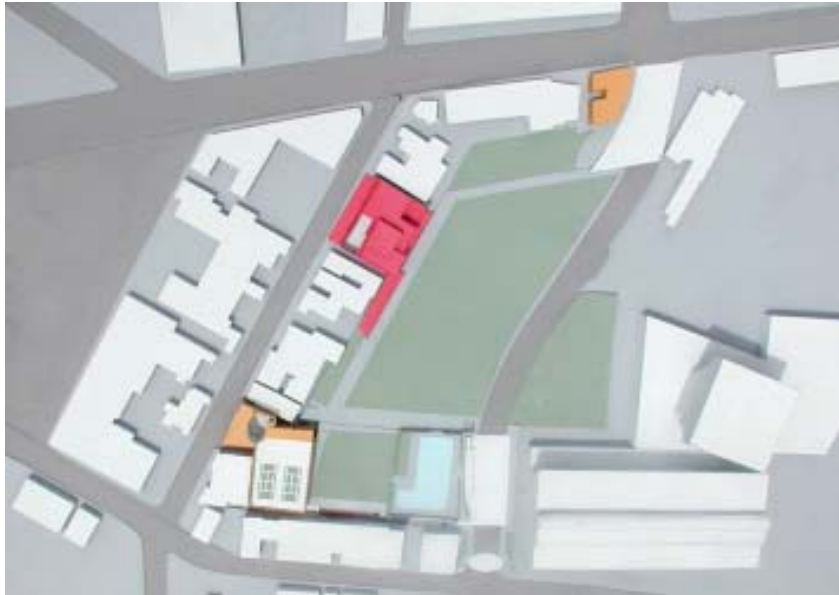
**Robertson North** The panhandle that connects the park to Robertson Boulevard, while enhancing the park's visibility and presence in the neighborhood, is underutilized and a seemingly less-than-efficient use of space. This scheme suggested that a good use of this "panhandle" might be as a site for the library. It shares with the "Robertson South" scheme the advantage of creating civic presence on Robertson, but places the library in a location remote from Santa Monica Boulevard. Also, like "Robertson South" it plugs a key visual and functional link between the neighborhood and the park.

**San Vicente at Santa Monica.** Of the alternatives considered this was the second most attractive option, especially for its proximity to Santa Monica Boulevard. Its principally east-facing orientation while less attractive than north orientation is nevertheless an advantage. Also advantageous is its easy access from both the park and the boulevard. The elongated shape made necessary by the imperative to keep lines of site from the boulevard into the park as open as possible would have presented challenges in working out the internal configuration of the library. Note also that at least 90 parking spaces must be provided adjacent to the library, and thus this option would have required the construction of parking somewhere along the north side of the park.

***The Steering Committee deemed these options inadequate and inappropriate and rejected them in favor of the San Vicente location at southeast corner of the park.***



**Robertson South.** This location would have required splitting the internal operations of the library to maintain open passage into and out of the park



**Robertson North.** This option would have permanently plugged a key visual and functional connection between the park and Robertson Boulevard

**San Vicente at Santa Monica.** The elongated configuration and dominant eastern exposure were considered disadvantages of this option.



### Alternate Aquatic Center Locations Considered

Many locations for the Aquatic Center were considered in order to understand that which would be most advantageous for both the park and the daily functions of the Aquatic Center. Each option was evaluated based on accessibility of the facility, the ability to provide a sufficiently generous setting for the pool(s) and related appurtenances as well as the role of the Aquatic Center as a key “activator” in the life of the park. It was important to everyone concerned that the Aquatic Center maintain a clear and intimate relationship to the park consistent with the principle that recreational facilities are key components in the creation of an active urban park.

**Middle of the Park.** One possibility considered was to expand the existing complex *in-situ* creating a first class competition/lap facility in the middle of the park. Advantages included the total integration of the Aquatic Center in the life of the park. However, for liability, safety and security reasons public swimming pools require extensive protection in the form of walls, fences and structures, which in their accumulation create obstacles to visual and functional relationships with their surroundings. This reality together with the loss of open space in the heart of the park would have violated an essential tenet of the master plan. Moreover, building the new facility on the site of the existing facility would have required the cessation of aquatics services and programs for at least two years.

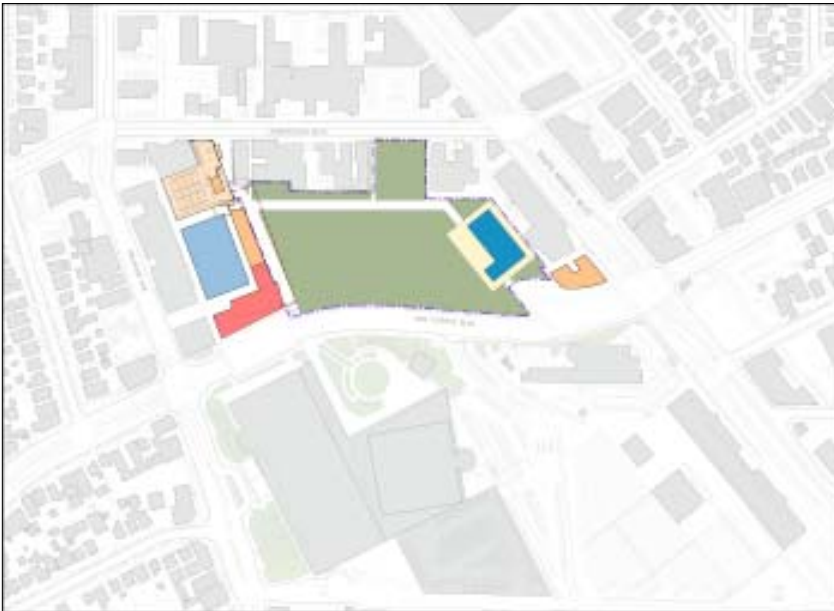
**North Side.** While advantages from the point of view of accessibility from the park and a clear visual connection this site would preclude development opportunities for mixed use commercial/residential buildings facing onto both Santa Monica Boulevard and the park. This site is also critical in providing much need parking along the boulevard. The aquatic facility here would have constricted the depth of the building site and undermined the feasibility of an efficient parking structure.

**West Side.** As with the library the Robertson “panhandle” is a potential site, given its ample dimension, relative flatness and frontage on Robertson. This site would certainly would have lent high visibility to the aquatic center. However, like the library, the presence of the aquatic center, necessarily fenced and/or walled off, would have cut off circulation and visibility into and out of the park from Robertson Boulevard.

***The Steering Committee deemed these options inadequate and inappropriate and rejected them in favor of locations at the south end of the park.***



***Middle of the Park . Building a new facility on the site of the existing facility would undermine coherent, uninterrupted open space that is the basic tenet of the master plan. Additionally, it would require the cessation of aquatic programs and services for a minimum of two years.***



**North Side** . The aquatic facility here would guarantee both visibility and accessibility to and from the park; but, it would preclude important development opportunities along the Santa Monica Boulevard frontage.



**West Side**. Placing the aquatic center in the Robertson “panhandle” would assure accessibility to and from the park as well as the boulevard itself; but it would undermine an important visual and functional relationship between Robertson and the park.



## Parking Sites

The dense commercial neighborhood within which the park resides is under tremendous pressure for the lack of parking serving the retail shops, design stores, cafes, restaurants and nightclubs, some of the most popular in the Los Angeles metropolitan region. The city must identify sites for parking that would serve not only the park, library and recreation facilities, but also the surrounding commercial neighborhoods. Efficient, economically feasible structures require certain minimum dimensions, preferably 120-30 feet in width to accommodate a double-aisle configuration and 200 to 300 feet in length to accommodate sloped floor parking. Only two sites in the vicinity of the park qualify, the south side and the north side.

**South Side.** The dimensions of possible building sites at the south side of the park are ideal for efficient parking structures and well situated for vehicular access from San Vicente, Melrose and Robertson. Integration with the library and recreation facilities is critical although there are many ways to achieve it. Options considered have included a free standing structure surrounded by the new buildings and vertically integrated parking and recreation facilities. No park space is consumed in providing parking on the site of the existing Ron Stone Clinic parking lot, the two tennis courts and the El Tovar maintenance yard.

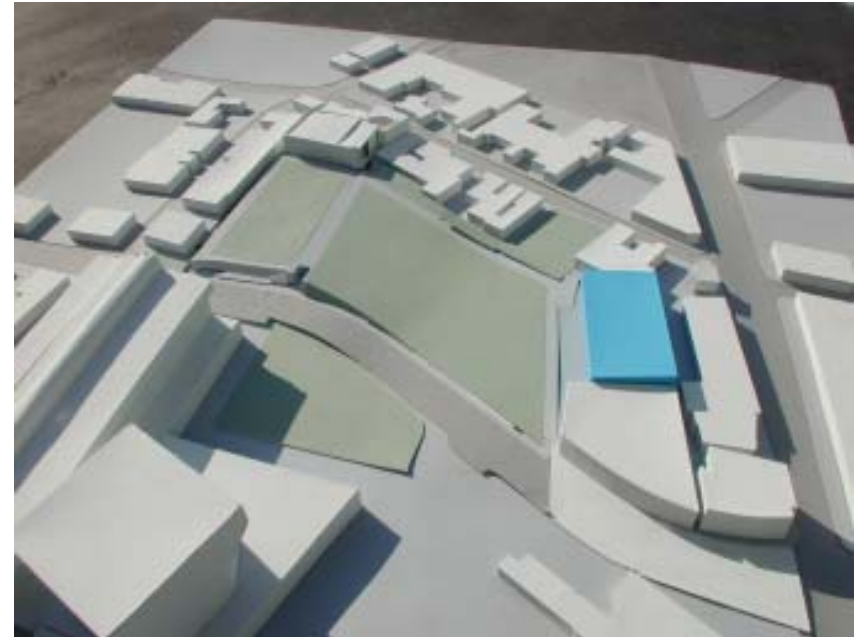
**North Side.** The site at the north side is more complex in that it requires the combination of private sector properties with City owned property--the north third of the existing softball field-- in order to accommodate an efficient structure and new buildings ("liners") facing both the park and the boulevard. The "liner" buildings are critical in shielding the structure and creating life at this critical edge of one of the City's most important civic spaces. Note that the site of the existing Koontz Hardware Store is left untouched in any options for parking structures at the north end of the park. Also, park space cannot be built upon unless replaced by additional park space elsewhere in and/or around and contiguous with the existing park.



**Parking Sites.** Sites capable of accepting parking structures are limited to the north and south side of the park. The east and west sides are precluded for many reasons the principal of which is the imperative to maintain visibility into and out of the park.



**South Side.** The south side of the park on the site of the existing Ron Stone Clinic parking lot, the two tennis courts and the El Tovar maintenance yard offers many possibilities for parking in a variety of configurations.



**North Side.** The north side of the park offers possibilities for parking structures provided room is preserved for “liner” buildings on both the Santa Monica Boulevard and park frontages. Mixed-use commercial and residential development integrated with an efficient parking structure is ideal for this block of the boulevard.

### The Freestanding Parking Structure at the South Side

The advantages of the freestanding parking structure at the south side of the park are significant. With minimal disturbance to the existing park, and minimal interface required with the other facilities planned for the south building site (library, aquatic center, recreation center) a new structure almost immediately go a long way toward solving parking capacity problems inflicting the general Melrose/Robertson neighborhood. Ideally situated to draw commercial patrons to both Melrose and Robertson, and located at the lowest point of the West Hollywood park site this solution provides maximum utility with minimum impact on its surroundings.

The specific site of the new structure consists of three parcels located just behind the Ron Stone Clinic. They are: 1) the Ron Stone Clinic parking lot; 2) the West Hollywood Park tennis courts; and 3) the El Tovar Maintenance Yard. The tennis courts would be replaced on the roof of the new parking structure; and, hence, no existing park space would be consumed in the construction of the facility. Egress and ingress to the structure would be provided at existing curb cuts on San Vicente, Robertson and Melrose Avenues. The construction of the structure is facilitated by virtue of access to the site from three sides, the relatively flat topography, and the freedom from having to integrate with other facilities such as the aquatic center and/or recreation center.

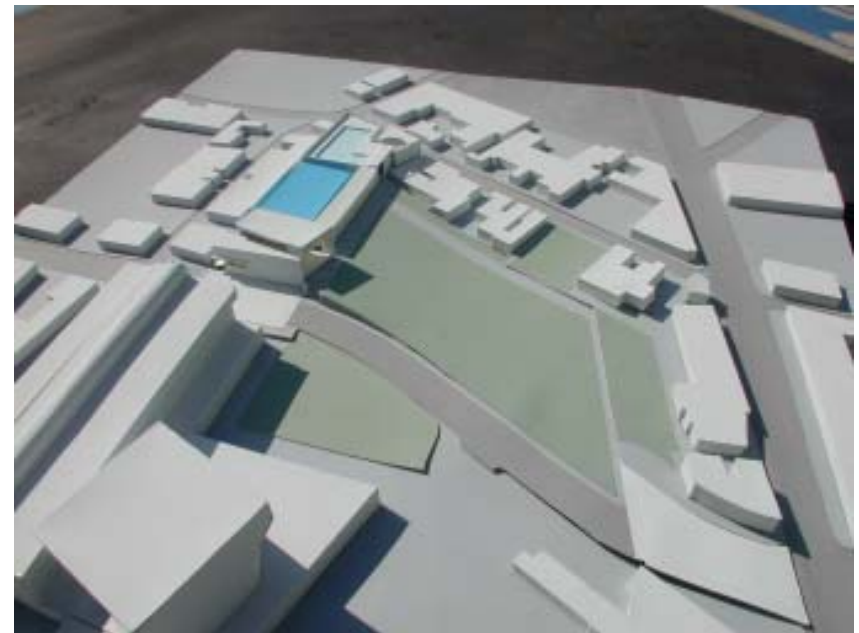
Upon completion of the structure the library facing San Vicente, and the combined Aquatic and Recreation Center facility facing Robertson can be built, with minimal disturbance to the new structure and the park.



**Freestanding Parking Structure.** The new structure will fit behind the existing Ron Stone Clinic building on the site of the Ron Stone parking lot, the tennis courts and the El Tovar Maintenance Yard. The tennis courts will be replaced on the roof of the new structure.



**The Library.** The library will be built on the site of the existing Ron Stone Clinic. Vehicular access to the freestanding parking structure is accommodated through the ground floor level of the library from San Vicente. The library's 90-car garage is built to the north of the free standing structure and becomes the plinth upon which the south end of the park sits, thus leveling the topography of the park and expanding its useful area..



**The Aquatic and Recreation Centers.** Any number of configurations for the aquatic center and recreation center on the west side of the freestanding parking structure are possible, depending on the ability/desire of the City to appropriate private sector properties. The issue at play is whether the aquatic center will stack on top of the recreation center or sit side-by-side.



### The Pools of the Aquatic Facility

**Two Pools.** The double pool model provides the widest range of swimming opportunities, programs and services. The 25m x 25yd pool allows for both short course formats for competitive meets and daily lap swimming. As a competition, exercise and training pool the temperature of the water in this pool is maintained on the cooler side of the spectrum. The recreational pool kept heated to higher temperatures than are comfortable for competition and exercise. The possible configurations for this kind of pool are wide ranging but should allow for the broadest array of activities such as adult aerobics, scuba diving, zero depth for very small children, etc.

**Rooftop Pools.** While seismic forces are an issue to deal with in Southern California in the placement of a heavy element such as a pool, rooftop pools are not out of the ordinary, and seen in most parts of the world especially in hotels from the Mediterranean to Las Vegas. Los Angeles, and West Hollywood have both seen the proliferation of rooftop pools in the years since WWII. Seismic stability is to be addressed by sound engineering in the planning and design stages of any vertically integrated aquatic center/recreation center facility.

**Pool Construction.** State-of-the-art pool construction has migrated toward the prefabricated system currently and most reputedly manufactured in Italy. This is a lightweight system of preformed stainless steel component parts trucked and craned onto the site. It is adaptable to many conditions and particularly suitable for rooftop applications.



**Competition/Lap Pool.** The 25m x 25yd. pool is dedicated to exercise, training and competition. Its temperature will be maintained at a range suitable for these activities.



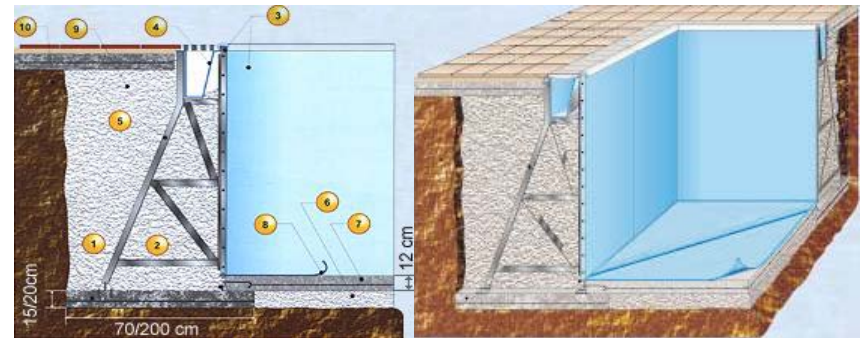
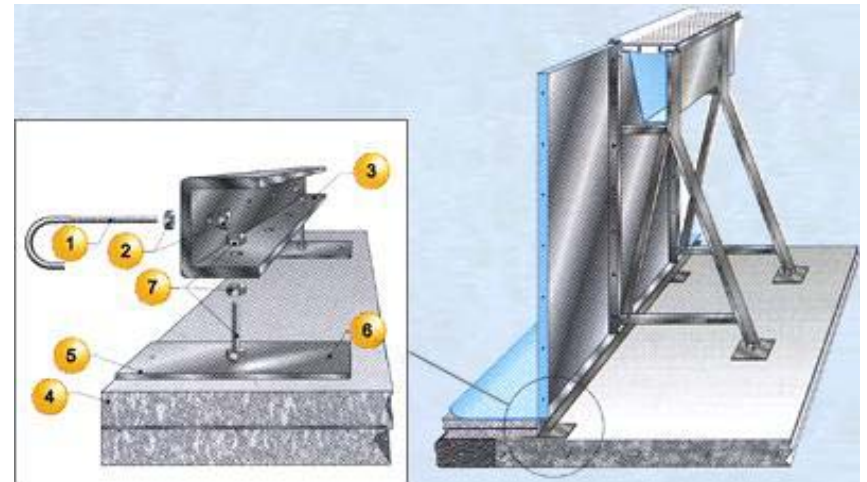
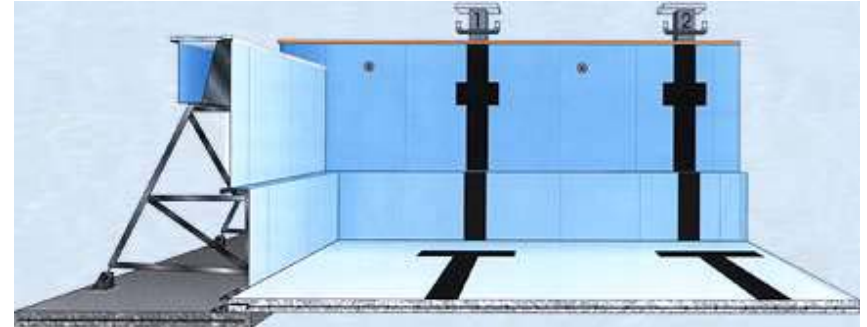
**Recreation Pool** This pool can assume any number of configurations and will accommodate a variety of programs and services such as unprogrammed play, adult aerobics, scuba diving, etc. Its water temperature is maintained at higher range than the competition/lap pool.



**Rooftop Pool.** Pools on roofs of structures are common throughout the world and Southern California. There are many examples in West Hollywood



**Advantage of Rooftop Location.** Views of the Hollywood Hills to the north and the Los Angeles Basin to the south would be spectacular.



**Prefabricated Pool Construction System.** Stainless steel shell components are lifted into place and attached to structural steel "butress" system.

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### Integrating Freestanding Parking with Other Facilities

With the construction of a freestanding parking structure in the location envisioned several options for the incorporation of an aquatic center and recreation center on the west side of the south building site emerge, depending on the degree to which the City wishes to pursue the appropriation of commercial properties along Robertson Boulevard. The option illustrated here avoids purchase of commercial properties with the exception of the small parcel immediately adjacent to and north of the Werle Building. This is necessary to accommodate the dimensions of the three-court gymnasium while maintaining open passage between the park and Robertson Boulevard, a major tenet of the master plan.

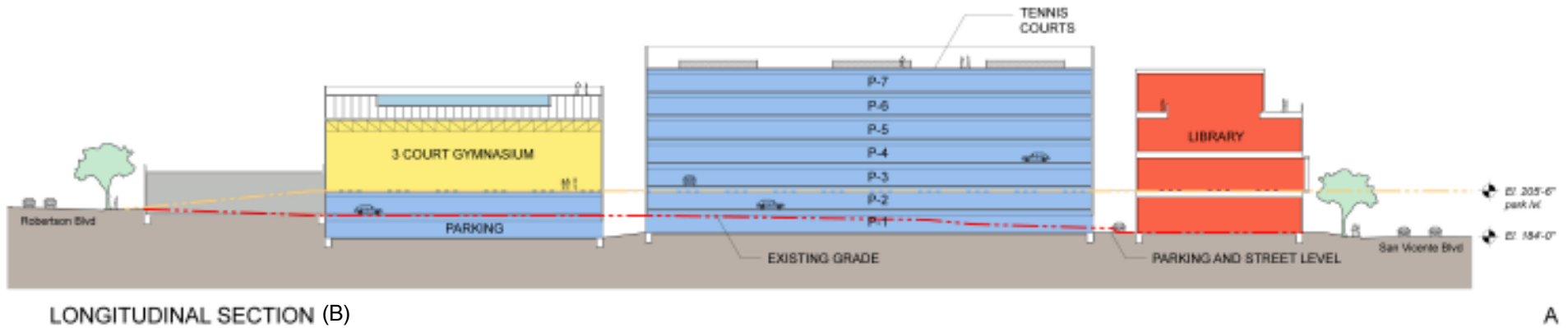
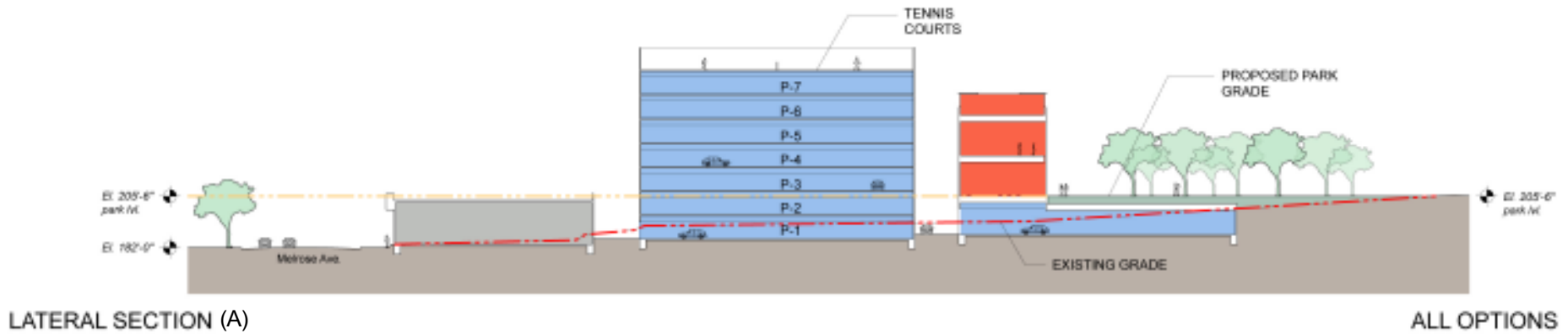
Understanding that new pool construction techniques have within the last decade facilitated rooftop construction the scheme illustrated here demonstrates that the two-pool aquatic center fits easily over the three-court gymnasium in a vertically integrated configuration. The aquatic facility includes a 25m x 25 yd. competition/lap pool with a smaller more versatile recreation pool. While more remote from the park than some have expressed preference for, its rooftop location would afford spectacular views of the Hollywood Hills to the north and the Los Angeles Basin to the south.



**Aquatic Center.** The rooftop complex fits over the three-court gym and features spectacular views of the Hollywood Hills to the north and the Los Angeles Basin to the south.



**Three Court Gymnasium.** The facility fits between the commercial property facing Robertson (known unofficially as the "Cobalt Cantina" property) & the parking structure.



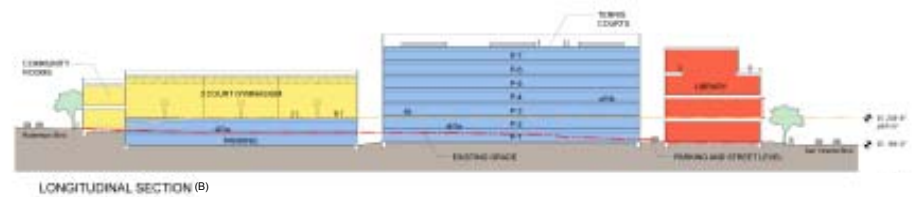
**Freestanding Parking Structure with Vertically Integrated Aquatic and Recreation Center.** These sections show the relationship of the freestanding garage to the library, aquatic center and recreation center. Note that because of its location the parking structure is minimally visible from the surrounding neighborhood, even at a height of seven levels. The tennis courts on the roof are visible from mid-park and from the south side of Melrose Avenue. Each of the seven levels accommodates 80 cars, for a total capacity of 560. In this scenario the aquatic center is situated over the three-court gymnasium, thus avoiding the necessity to appropriate commercial properties along Robertson.



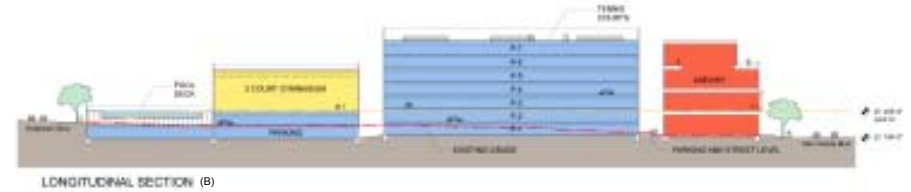
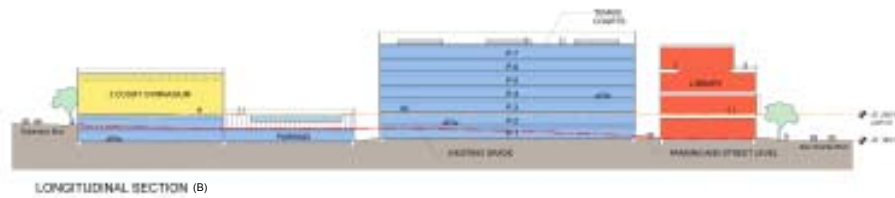
### Horizontally Integrated Aquatic and Recreation Centers

Avoidance of the stacking of aquatic and recreation centers can be achieved should the City so desire with the expansion of the available building site made possible by the appropriation of the commercial properties along Robertson known informally as the “Cobalt Cantina” property. With the opening up of the site toward Robertson options for side-by-side arrangements unfold. Here, the alternatives are weighed in terms of how the aquatic center relates to the parking structure and the recreation center, but also, more importantly the park. They differ in the degree to which they afford direct visual and functional relationship with the park and the degree to which they benefit from optimal solar exposure.

*All three options illustrated here place the pool deck level with the proposed elevation of the park.*



*Aquatic Center on North Side of Recreation Center. In this scheme the pools have the most direct visual and functional relationship with the park. Access to the recreation center to and from the park would have to be worked out in design. The height of the three-court gym on the south side of the pools is a potential weakness of this scheme.*



**Aquatic Center on East Side of Recreation Center.** In this scheme the aquatic center forms a kind of courtyard between the recreation center and the freestanding parking structure. Access to and from the park is still direct. The three-court gymnasium forms a strong presence on Robertson Boulevard and is situated to benefit from direct access to and from the park.

**Aquatic Center on West Side of Recreation Center.** Here the aquatic center faces onto Robertson with the advantage of reducing building mass along this intimately scaled street. Access to and from the park is maintained, albeit less directly than in the other schemes. The recreation building forms a kind of protective barrier against the presence of the parking structure; and, exposure to the sun is ideal.

### Sizing the Freestanding Parking Structure

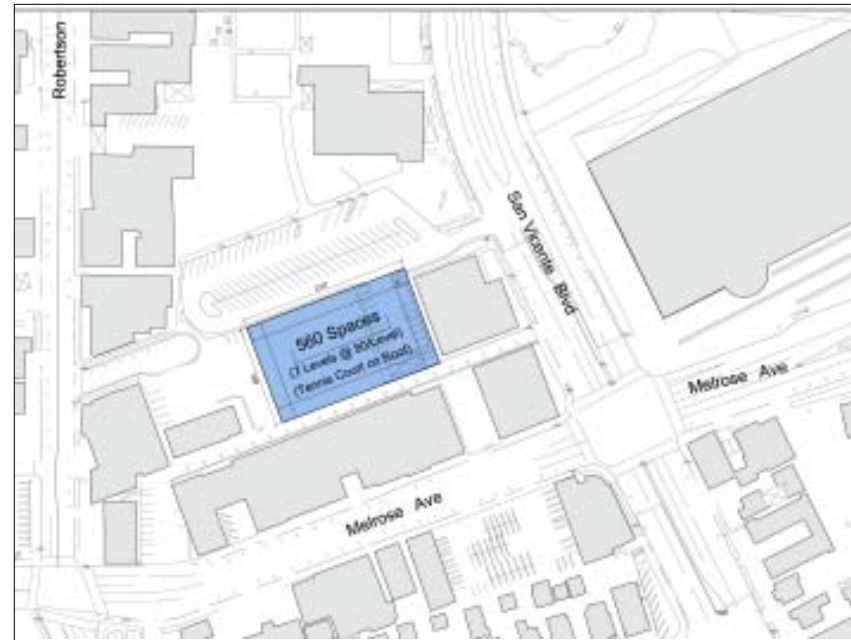
Understanding the optimal size of the structure is the balance of three variables:

- 1) Capacity
- 2) Visibility and Massing
- 3) Costs of Subterranean Construction and the Depth of Water Table

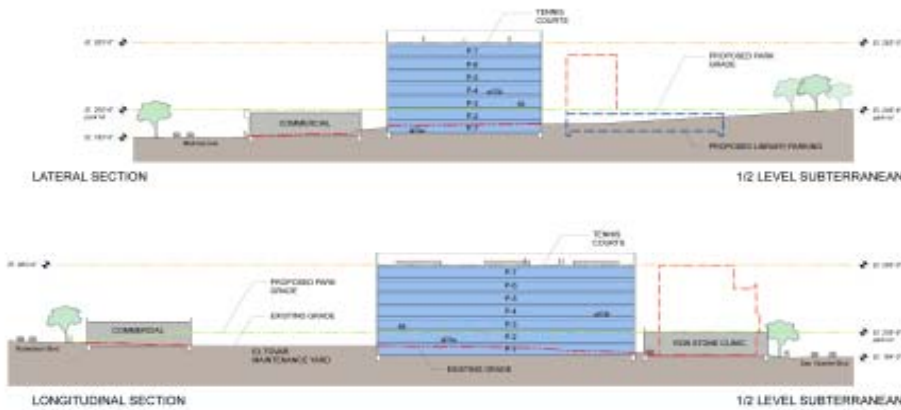
All of the schemes share three characteristics:

- 1) Due to the slope of the site there is at least 1/2 subterranean level.
- 2) The existing two tennis courts are replaced by three courts on the roof of the new structure.
- 3) The length of the structure allows for sloped ramp parking floors, eliminating the need for speed ramps.

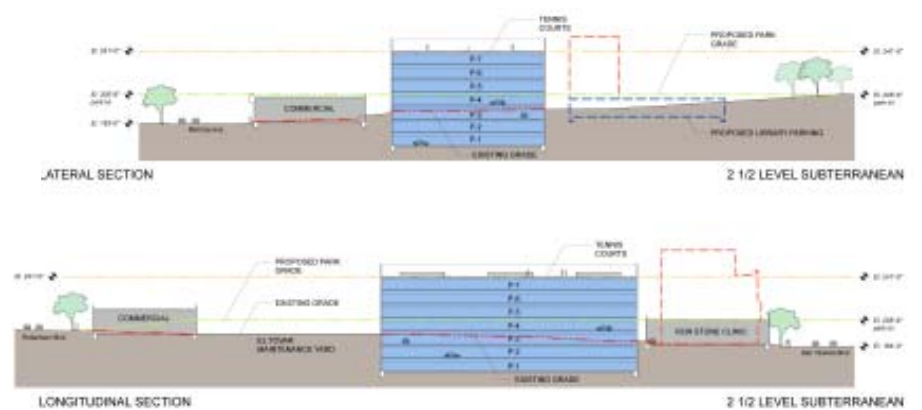
The least costly of the options illustrated is the five level structure with 1/2 level subterranean with a capacity of 400 cars and , with the construction of the library and aquatic/recreation centers virtually unseen from most locations in the vicinity of the park. The most costly would be the seven level structure with 2 1/2 subterranean floors; this scheme maximizes capacity at 560 cars while maintaining minimal massing and visibility, being equal in height to the five level structure. The other schemes illustrate alternative degrees of submersion into grade which would be evaluated for feasibility vis-a-vis the impacts of the water table at this specific location and the related excavation and foundation costs.



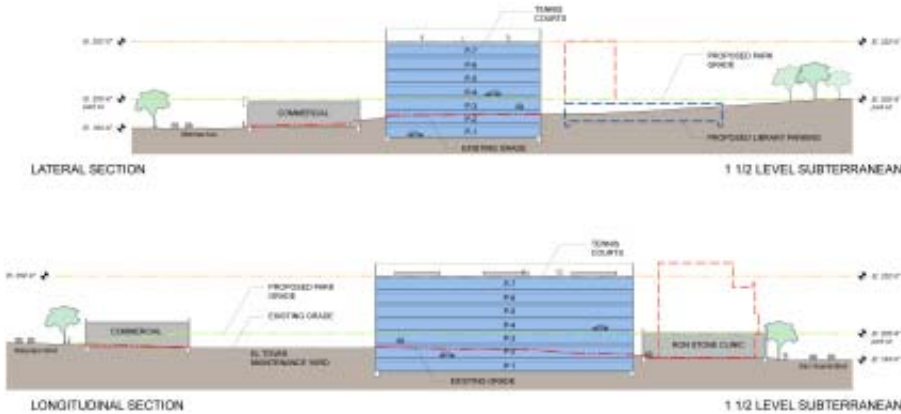
**Freestanding Garage in Context.** The capacity of the garage is dependent on height, visibility and massing balanced against the degree of subterranean construction possible, the influences of the water table on construction feasibility and overall construction costs.



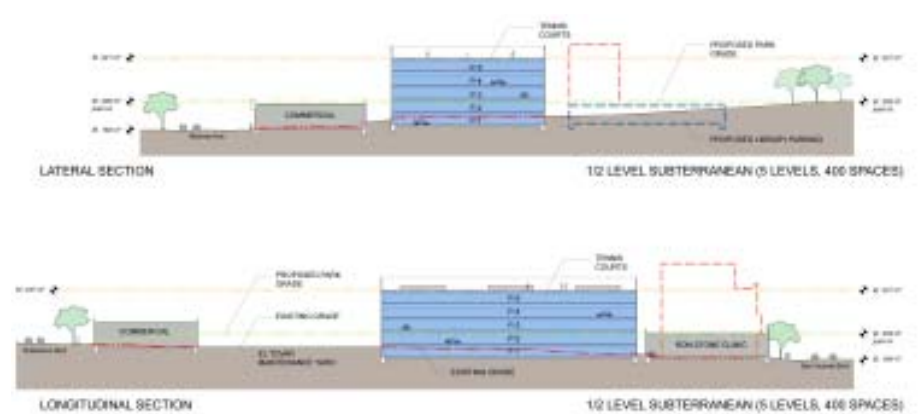
*Seven Level Structure, 1/2 Level Subterranean, 560 Spaces*



*Seven Level Structure, 2 1/2 Levels Subterranean, 560 Spaces*



*Seven Level Structure, 1 1/2 Levels Subterranean, 560 Spaces*



*Five Level Structure, 1/2 Level Subterranean, 400 Spaces*



**ACKNOWLEDGEMENTS** WEST HOLLYWOOD PARK MASTER PLAN 2004 - *Appendix II Background Information & Supporting Analysis*

*City of West Hollywood*

**City of West Hollywood City Council**

John Duran, Mayor  
Abbe Land, Mayor Pro-Tem  
Sal Guarriello  
John Heilman  
Jeffrey Prang

**City of West Hollywood Parks Master Plan Steering Committee**

Catherine Hahn	Chair
Susan Pinkus	Vice-Chair
Sal Guarriello	Mayor
John Heilman	Citycouncil Member
Jim Ballard	Council Office Appointee
Donna Feinstein	Council Office Appointee
Steven Karash	Council Office Appointee
Rod MacDonald	Council Office Appointee
Gene Smith	Council Office Appointee
John D'Amico	Human Services Commissioner
Ric Abramson	Public Facilities Commissioner
Steven Greene	Public Facilities Commissioner
Roy Huebner	Public Facilities Commissioner
Thomas Jones	Public Facilities Commissioner
Bud Siegel	Public Facilities Commissioner
Ric Rickles	Senior Advisory Board Member
Gennady Razumov	Russian Advisory Board Member
Suzanne Dietrich	Disability Advisory Board Member
Brad Torgan	Planning Commissioner
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Linda Demmers	Library Consultant, Libris Design

**Consultants**

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Mia Lehrer and Assoc.	Landscape Architecture
Davis, Langdon Adamson	Cost Estimators

**WEST HOLLYWOOD PARK MASTER PLAN 2004**

*City of West Hollywood*



*Landscape Plan  
Appendix III*

# **WEST HOLLYWOOD PARK MASTER PLAN 2002**

*City of West Hollywood*

*Developed by:*

***The People of the City of West Hollywood***

***The City of West Hollywood City Council 2002-2003***

***The City of West Hollywood Parks Master Plans Steering Committee***

***The City of West Hollywood Public Facilities Commission***

***Paul Arevalo  
City Manager***

***Lloyd Long  
Director of Human Services Department***

***Sam Baxter  
Manager, Facilities and Landscape Division***

***Departments of Transportation and Public Works, Human Services, Community Development,  
Rent Stabilization and Housing, Economic Development and Special Projects,  
Public Information and Legal Services***

***MDA Johnson Favaro and Mia Lehrer + Associates***

### **The Park and Landscape Guidelines**

These landscape and park guidelines are intended as a framework for future park improvements and expansion. The framework identifies critical strategies for improving current park conditions and responds to issues raised in various meetings throughout the project. The plan originates in documenting the existing qualities of the park and strives to hold on to the things that the park community values. The proposed park changes are forward looking to a time when the city has grown more populous and the number of families with children using the park has increased as current demographic trends suggest. The plan acknowledges that the residents of the city lack nationally recommended amounts of public open space and recreation facilities, and that improvements to this park can improve but not solve these deficiencies.

The consultants retained to prepare this Plan utilized information gathered by needs assessments conducted in 1993, participated in meetings with the City of West Hollywood, conducted site visits, prepared site analysis documents, compared this park to other local parks and participated in a series of public forums held at the park. The consultants studied the park's resources within the context of the larger system of parks, open spaces, schools and recreation facilities to understand the distribution and quantity of existing facilities. Even though some facilities within this park can be found nearby some residents, especially those who walk will prefer to visit their neighborhood park.

Five park zones accommodate the different types of uses desired by the community and organize the general sloping nature of the site. The plan illustrates expanses of public garden along the street edges. These gardens surround the more active multipurpose meadows and help to maintain the desired layering of multiple spaces within the larger park. The strategy of framing active uses with gardens also achieves the primary objective of transforming the San Vicente perimeter into a green, parklike edge. This is seen as a substantial improvement to the existing condition with buildings and parking along the boulevard. Green space is in very short supply in this city and a primary objective within the design of the park.

As distinct projects are identified and consultants are retained to design particular projects this document will act as guiding principles to produce a coherent whole.



*This manual is organized in four sections as follows:*

**Introduction.** This section introduces and briefly describes the reasons for preparing landscape and park master plan guidelines. It also describes in diagram the context of West Hollywood Park within the larger open space resources of the area. A review of nearby park precedents and facilities is provided and we have included a description of the park as it exists and its purposes as currently expressed in its existing condition and by those who use it.

**Observations and Analysis.** This section analyzes the existing conditions of the park, how it is used and the challenges currently faced.

**Goals, Principles and a Landscape Vision for the Park.** This section describes goals for the Park and Landscape Guidelines that emerged out of discussions with the parties to the process and as a result of the analysis stated above.

**The Park Elements and Landscape Guidelines.** This section describes in greater detail the individual components of the park with attention to principles.

**Tree Preservation/Relocation Feasibility Report.** This is the result of a survey of the health and age of trees within the park and makes recommendations on their preservation, removal or relocation.





*Aerial photograph of West Hollywood Park and environs. The park is bordered by Santa Monica Boulevard on the north, San Vicente Boulevard on the east; the Ron Stone Clinic, the El Tovar maintenance yard and retail uses on Melrose Avenue on the south; and San Vicente Boulevard on the east.*



### **The City Park in America**

When approaching the development of guidelines for the future of West Hollywood Park it is useful to review the historic role of parks in America, to look at various models and explore how they have survived and evolved into the 21<sup>st</sup> Century. Today's urban parks are close relatives of their ancestors the town square and later the restorative park. The town square or green, once a livestock pasture in the center of the town evolved into a civic space used for oratory, gatherings and relaxation. The space typically occupied a central location opposite the town hall or city hall. It acted as a forecourt to important civic buildings providing space for public gatherings and an opportunity to take in the view of important buildings from a distance. Most large U.S. cities have parks or plazas on at least one side of their city halls. Boston, Philadelphia, New York and Los Angeles all have similar public spaces.

In the middle of the 19<sup>th</sup> Century parks were institutionalized as places for active recreation, social gatherings and spiritual restoration. New York's Central Park is one of the best documented examples of parks from this era. The park was designed as the 'lungs of the city' providing much needed open space and fresh air in a crowded and congested urban environment. Central park was also a social experiment providing a place intended for the mixing of social classes. The original design of the park included programmed spaces such as ball fields and parade grounds as well as man made picturesque landscapes like the Rambles as well as highly structured formal gardens like those at the Conservatory. Promenades and plazas in the park were designed with durability and beauty in mind. Natural stone and cast iron elements have weathered over 100 years of use. In the 21<sup>st</sup> century, although the park has evolved to suit modern uses it retains a great visual similarity to the designers' original intent. A great variety of museums and public institutions have been developed within the park. It is still a grand social meeting place attracting visitors of all backgrounds and interests. The investment in excellent design and permanent construction has enabled the park to succeed and thrive for more than a century.

In the 20<sup>th</sup> century a modernist movement viewed the urban park as a place for the specific purpose of fitness and play. Nature in the parks was viewed as human serving and neglected the opportunity to attract and serve wildlife. The picturesque landscape that included attention to site elements such as walls, balustrades, plazas, follies and water features was replaced by a utilitarian collection of courts and playfields. Cheap available land in the suburbs created a sprawl version of park design where lawn, a few trees and some picnic tables



**Central Park** *New York, New York.*

composed the park. Investment in high quality permanent materials was lost. Few parks were designed with any relationship to the specific characteristics of their sites, their cultural history or as dignified civic spaces.

In Los Angeles parks and facilities for active recreation evolved separately. In the late 19<sup>th</sup> Century the City established a Department of Parks and identified several sites with natural and cultural resources. Parks were envisioned as natural or historical sites for physical and spiritual refreshment without active recreation.

In 1904 the city created the nation's first Playground Department for the specific purpose of providing wholesome activities for juveniles who were playing in the streets. The first playground was built in 1905. The next major development was the passage of a bond measure in 1947 that funded the construction of parks and playgrounds all over the city. Over the last quarter century a number of notable movements in park design have emerged from deconstructivism to the re-use of industrial and polluted landscapes as parks. Parks once again commemorate and celebrate their history and context in the city. They are sculpture gardens and performance spaces. Parks are multi-generational recreation venues. Sustainable design practices are providing alternatives to infrastructure investment and creating healthier places for humans and wildlife. Parks are being designed to excite the imagination, provide public education and inspire communities to come together.



**Existing Park Landscape and Open Space.** The existing park contains a variety of facilities and uses for all age groups including children's playgrounds, outdoor basketball courts, a ball field, tennis courts, an outdoor pool, auditorium building, County library and surface parking. The eastern and southern sides of the park are dominated by parking and buildings diminishing the presence of green space in the city.

### **Existing Park Analysis**

**South Parking Lot** The existing parking lot is almost completely devoid of trees causing a heat island effect with elevated temperatures around the Ron Stone Clinic and the tennis courts. Two spaces for electric vehicles are currently available.

**Tennis Courts** Two tennis courts are located in the south west corner of the park. They are surrounded by chain link fence with mesh screening fabric. The courts are located across the parking lot and are isolated from the rest of the park. There is no shade or seating outside the courts for people waiting to use them.

**The South Lawn** A sloping grass field shaded by numerous trees is located between the parking lot and the children's play area. The slope of the field and the presence of the trees makes it difficult to use for informal ball games and other activities. It is mainly used as a picnic grove or group gathering location. Utility lines stretching from a wood pole to the auditorium give the appearance of a dangerous situation.

**Pool Terrace** The swimming pool is surrounded by a concrete paved area used for sunning and those waiting to swim. The area for viewing for events within the terrace is limited. Viewing from the north and south is compromised by a planting area above the terrace on the north side and a downhill slope on the south.

### **The Heart of the Park**

The heart of the park where families gather for birthday parties and children play on play equipment has wonderful sense of enclosure created by mature trees and buildings on the edges of the park. The space is well scaled for the children that play within it. At the older children's area there is ample seating around the play equipment allowing observation. Restrooms are located close by the play areas so that children do not have to leave the immediate area when they need to use the facilities. Although this area is not visible from the street and is a distance from the parking lot it has a strong sense of safety created by the regular passage of people walking from San Vicente and Melrose to Robertson Boulevard through the park.



*The practically treeless parking lot lacks shade and isolates the tennis courts from the rest of the park.*



*The pool breaks the park up in to small fragments of green space. The mature ficus trees provide substantial shade, but are a maintenance problem requiring frequent trimming and dropping fruit on the pool terrace.*



There are three separate play structures and a swing set in the older children's area. The equipment appears to be relatively new and in good condition. The woodchip surface under the equipment meets the current codes for play area safety but has its critics. The chips stick to clothing and can be uncomfortable on bare feet.

Picnic tables constructed from recycled plastic are scattered around the play area. The tables and benches appear to be in good condition. They are installed over concrete paving for ease of cleaning the surface below them. On the east side of the space, against the pool fence is a garden space planted with perennials and native species. The garden is small and not in a highly visible location. A garden of this type would be well suited as a focal point within the park. The space above the pool could be used for pool viewing.

**Basketball Courts** Two full courts and one half court are located in the central area of the park. The courts are in good condition and a popular destination. A children's height basket is also provided expanding the age group that uses this park element. There is a generous amount of paving around the courts providing space for waiting players or other activities. A long low wall between the courts and the softball field above provides ample seating for spectators. The neighboring restroom building provides an immediate source of water for thirsty players.

**Tiny Tots** The Tiny Tots facilities include a small classroom, a grassy yard shaded by a mature canopy tree, a paved area for games and toys shaded by a mature Chinese Elm tree and a play structure and swings in a sand area covered with a fabric shade canopy. The area between the restrooms and the Tiny Tots building is very small for the number of children that participate in programs.

The play equipment is separated from the rest of the park by decorative metal fencing and gates. The surface below the play structures is a combination of sand and resilient rubber surfacing, two common and acceptable play surfaces. Sand is specified less often as a play equipment surface due to problems with animals and potentially harmful objects. The tiny tots area lacks seating for observation within the fenced play area.



*The Heart of the Park with its lawns, play areas, mature trees, tables and benches hosts a variety of uses and is considered the area most 'parklike'.*



*Basketball Courts divide the 'heart of the park' from the ballfield. The asphalt paving is a large impermeable area that lacks seating and shade.*

**The Robertson Green** An open lawn area between the tiny tots play area and Robertson Boulevard is known as the Robertson Green. A collection of well worn metal exercise pieces is located on the north side of the space adjacent to the tiny tots paved play yard. These pieces are intended for use by adults or older children who are not an ideal neighbors for the youngest children in the park. They appear to have limited use compared to other facilities in the park. The relatively level green lawn with trees and concrete walkways serves as an unstructured open area for sunbathing and seating.

**The Ball field** The north end of the park is occupied by a substandard ball field surrounded by tall chainlink fences and gates. The field has a clay infield, backstop and somewhat lumpy outfield. Bleachers are located on the east side obscuring the view of the field from San Vicente Boulevard. The outfield is used for soccer creating additional wear and tear. Adjacent buildings are protected from stray balls by high fences.

The fenced ball field has limited use and requires substantial special maintenance, especially on the clay infield area. This sizable part of the park is essentially off limits to most park users. The tall fences that protect adjacent buildings and San Vicente Boulevard from stray balls create an unappealing park edge.

**The San Vicente Perimeter** The majority of the park perimeter along San Vicente Boulevard is composed of fences or walls cutting off views into the park interior. The most 'parklike' area along the perimeter is in front of the aquatic center where a wide lawn and mature trees create a green shaded green edge. A sizeable lawn area east of the parking lot is limited by its isolation and slope to its decorative qualities. San Vicente Boulevard is a wide paved street with a narrow planted median that limits visual and physical connections between the park and the PDC Courtyard on the opposite side.



*Robertson Green, one of the few green edges to the park is an informal lawn area used for sunbathing and picnics.*



*The Existing Ball Field as very limited use with the Tiny Tots building and restrooms beyond.*



## General Elements

### Topography/Drainage

The north end of the park is approximately 26 feet higher than the south end. This change is accommodated by sloping lawns, paving and retaining walls built of various materials. The predominant site slope provides more than adequate surface drainage for stormwater. Irrigation water was observed to collect in low points creating soggy areas after watering..

### Tree Preservation

There are a number of healthy specimen quality trees in the park. During the drafting of this plan the consultants met with the City's Tree Preservation Group. The most important objective expressed by the group was the preservation or replacement of mature canopy trees. The replacement of tree canopy should be factored into early projects or phases of the master plan. Altering the park's existing terrain, removing buildings and moving park functions will mean the loss of existing trees.

As future projects are determined existing trees must be evaluated on the basis of their potential to remain in place, their potential success in relocation or their suitability for replacement. A tree survey was conducted as part of this project. General opinions about the probable success of moving the existing trees and an estimate of costs was developed. Trees with deep roots, that are surrounded by pavement or are next to buildings are more difficult to move. It is important to consider that relocated trees will need storage locations and regular care while in temporary locations. The success rate for relocating trees is generally about a 50 percent chance of survival at best. These qualifications suggest that as attractive as it may sound to move trees, care and consideration should be given to their probable success and the costs of storage and replanting.

***Future projects should carefully evaluate the feasibility of maintaining existing trees in their current locations.***



*A dense grove of trees in the south lawn provides significant tree canopy. Some trees have been harmed by overcrowding.*



*While mature Ficus trees provide dense shade they also lift pavements and drop messy fruit.*

**Park Edges**

The south, west and north edges of the park feel neglected and untreated. The park could be surrounded by walls of vegetation or properties bordering the park could turn to face the park with related uses or access.

**Lighting**

Park lighting is provided by post top fixtures illuminating pathways and general areas. The basketball courts and ballfields are lit with tall, high intensity fixtures for nighttime use. More energy efficient lighting fixtures are available for these uses.

**Isolated areas and uses**

The central green space feels confined and isolated from surrounding streets rendering it practically invisible. When events are held in the park and along San Vicente Boulevard it is difficult to connect park activities to the street unless it is closed to vehicular use. The tennis courts, surrounded by the parking lot are completely isolated from the other park activities. There is no shade in the court waiting areas.

**Obsolete Equipment**

The exercise equipment on the north side of the Robertson Green appears to be obsolete. In repeated site visits this area had little or no use compared to the other play equipment. The equipment is geared to adults and is not the most compatible use next to the Tiny Tots play area.



*The park is surrounded by the bleak walls of adjacent structures on the west side. This edge could be augmented with trees and hedges to create a solid green edge.*



*Existing basketball courts are lit with tall high intensity fixtures which is generally acceptable when adjacent to commercial properties.*





*Post top fixtures provide general area and pathway lighting. More energy efficient fixtures are now available.*



*Tennis Courts on the South End of the Park are isolated from the green space of the park.*



*The lawn area on the east side of the aquatic center has no direct connection to the park interior and is under-utilized.*



*Obsolete equipment on the north edge of the park next to the Tiny Tots play area.*



**Signage**

- Signage for the park and the Library is an eclectic series of freestanding, wall mounted and monument signage with little or no overall coordination.
- A graphics system should be developed to attractively convey information on park identity, facilities and regulations.

**Obtrusive Elements**

- Utility poles and lines running across the park are unattractive and suggests unsafe conditions.

**Impermeable Surfaces**

- Surface parking, court sports and paved play areas limit the amount of permeable surfaces and groundwater infiltration in the park.
- Large paved areas create glare and raise the ambient temperature of the park.

**Play Areas**

- The existing woodchip surfacing under the play equipment has been identified as a problem.
- The tiny tots play equipment area lacks seating for adults within the enclosure.

**Transit**

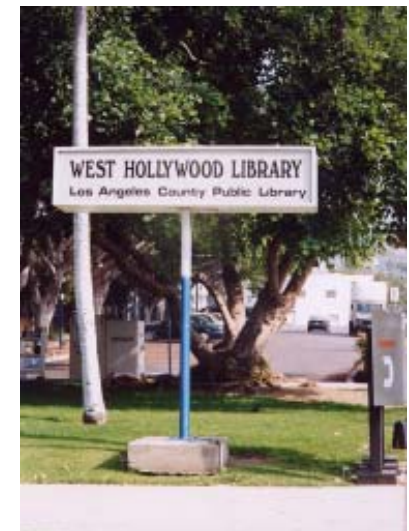
- The existing bus stop on San Vicente Boulevard has no shelter from the sun or inclement weather.



*Park identification signage and sculpture.*



*There is no standard for park regulations.*



*Library identification sign.*





*Utility wires over south lawn.*



*The asphalt paving for the basketball courts creates a large impermeable area that also retains heat.*



*The transit stop along San Vicente Boulevard lacks shade or weather protection.*



*Woodchips under the play equipment is an acceptable safety material. It has been criticized because it tends to adhere to clothing and is uncomfortable with bare feet.*

### Existing Sidewalks

- A large part of the park along San Vicente Boulevard is devoted to parking. The auditorium building faces onto the street with a sizable wall. The narrow sidewalk is barely wide enough to fit two people walking together creating a compressed and uncomfortable feeling.

### Accessibility

- The park has good accessibility from adjacent sidewalks on Roberston Boulevard to the central areas of the park. Ramps provide access to the ball field and older children's play area. Slopes on most of the existing walkways are within ADA regulations. Access from San Vicente Boulevard to the pool, auditorium or central areas of the park are more challenging. A handicap curb ramp on San Vicente is located opposite steps that lead to the auditorium entrance. A disabled person must navigate through the parking lot to reach an entrance to the building. Access to the pool which has a ramp into the water must also be gained from the park interior.

### Existing Tree Summary

There are over 23 different types of trees in the park. Almost of the species are commonly found in Southern California. The Mexican Cedar, Flame and Catalpa trees are rarer varieties. Some of the trees are good sized specimens in excellent condition. Some of the best specimens which exhibit good structure and size include Mediterranean Fan Palms, Canary Island Pines, Hong Kong Orchid Trees, King Palms, Ficus Trees, Chinese Elm Trees and native Sycamore trees. In general the trees have been placed to provide shade and seasonal interest throughout the park. Trees with interesting branching or trunk structure like the palms have been used effectively as accents along San Vicente Boulevard. In the south lawn area there is densely planted grove of Magnolias, Bottle Brush and Flame trees that suffer from overcrowding and should be thinned. Many ficus trees have been planted along sidewalks and interior walkways. These trees have been a popular choice in the past because they provide fast growth and dense shade. Maintenance requirements for these trees is extensive. They require frequent pruning, fruit must be removed from paved surfaces and surface roots can damage paving. The diversity of species in the park is an excellent strategy to avoid potential loss of trees from pests or disease.



*The narrow sidewalk along the Auditorium retaining wall creates a hard edge to the park.*



*The main pedestrian entrance to the park is a narrow stairway that is not handicap accessible.*





*The Library building is set back from the street edge behind a parking lot.*



*Mature canopy trees in southern lawn area.*



*Specimen quality King Palms*



*Catalpa trees on west side of auditorium*

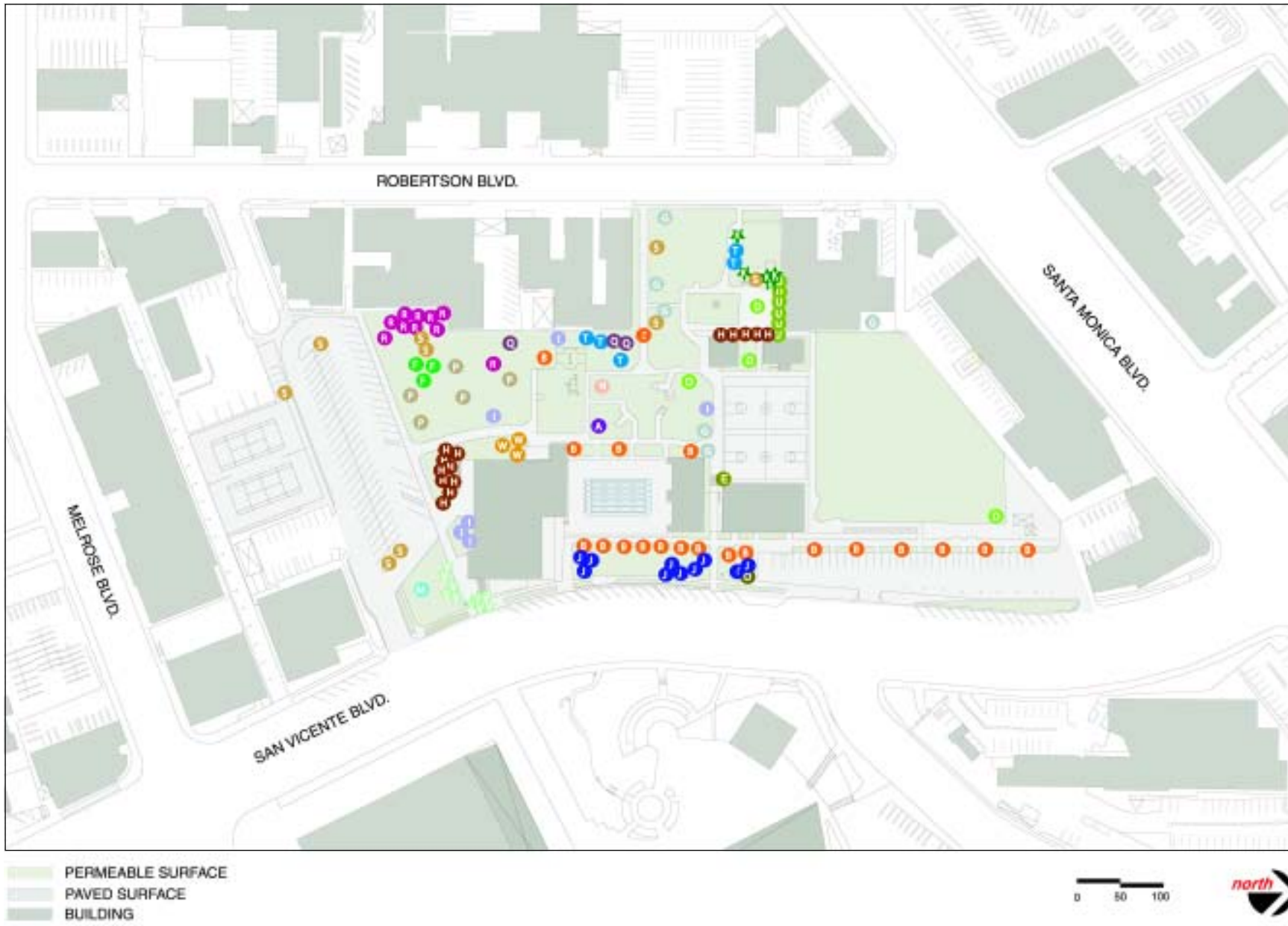


*Mature pines at auditorium*



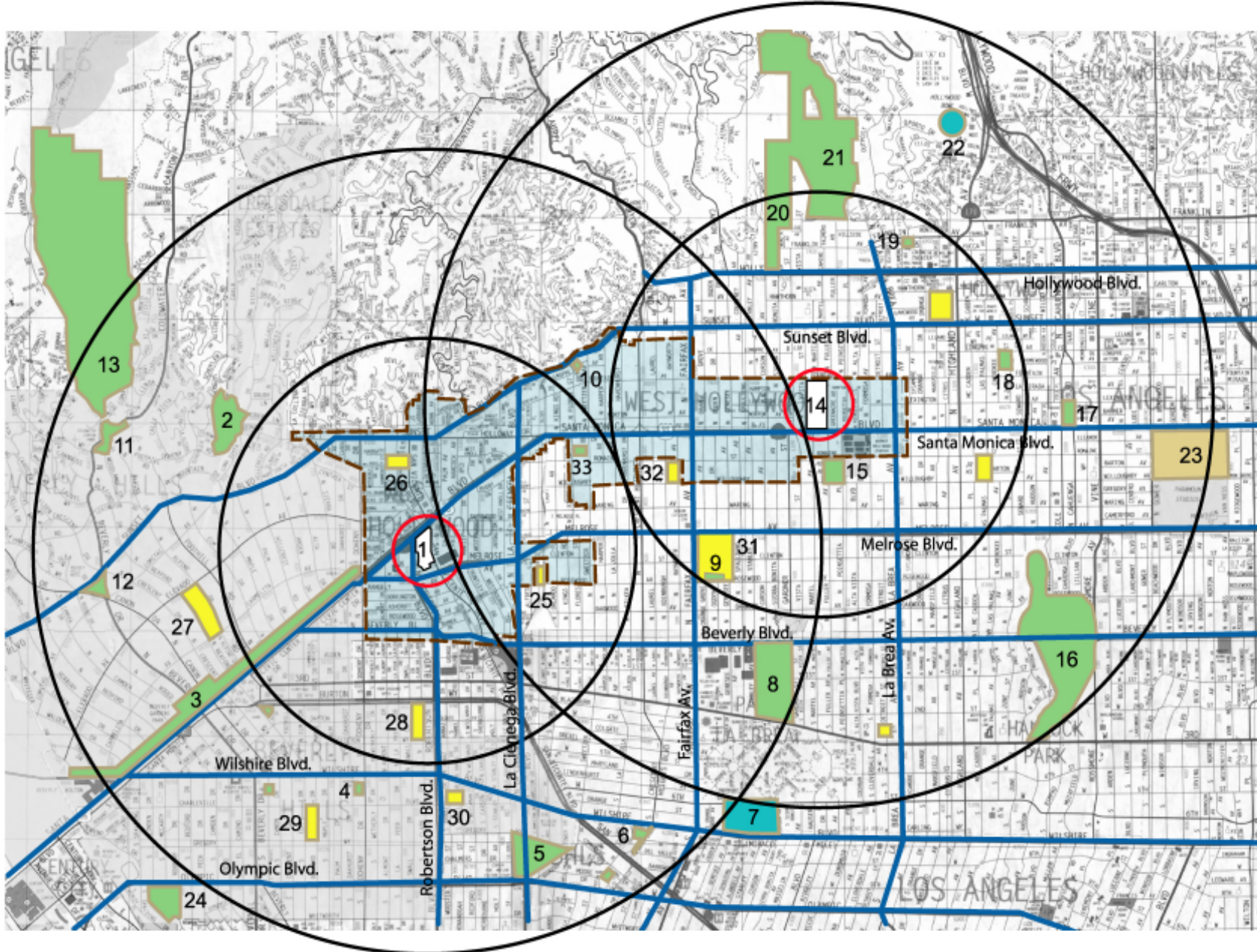
*Mature ficus and sycamore trees*





WEST HOLLYWOOD PARK TREE SURVEY

SYMBOL	BOTANICAL NAME	COMMON NAME
A	FICUS ELASTICA	RUBBER TREE
B	FICUS MACROCARPA NITIDA	INDIAN LAUREL FIG
C	CINNAMOMUM CAMPHORA	CAMPHOR TREE
D	ULMUS PARVIFOLIA	CHINESE ELM TREE
E	KOEBREUTERIA BIPINNATA	CHINESE FLAME TREE
F	BRACHYCHITON ACERFOLIUS	FLAME TREE
G	LAGERSTOEMIA INDICA	GRAPE MYRTLE
H	PITTOSPORUM UNDULATUM	VICTORIAN BOX
I	PINUS CANARIENSIS	CANARY ISLAND PINE
J	ARCHONTOPHOENIX CUNNINGHAMIANA	KING PALM
★	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM
L	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE
M	OLEA EUROPEA	OLIVE TREE
N	ALNUS RHOMBIFOLIA	WHITE ALDER
O	ERYTHRINA SYKESII	CORAL TREE
P	MORUS ALBA	MULBERRY TREE
Q	CUPRESSUS LUSITANICA	MEXICAN CEDAR
R	MAGNOLIA GRANDIFLORA	MAGNOLIA BULL BAY
S	CALLISTEMON VIMINALIS	WEeping BOTTLEBRUSH
T	BAUHINIA BLAKEANA	HONG KONG ORCHID TREE
U	ENSETE VENTRICOSUM	ABYSSINIAN BANANA
☆	CHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM
W	BIGNONIACEAE SPECIOSA	CATALPA





**WEST HOLLYWOOD VICINITY  
PARKS & OPEN SPACES EXISTING FACILITIES**

**LEGEND**

1. WEST HOLLYWOOD PARK
2. GREYSTONE PARK
3. BEVERLY GARDENS
4. OAKHURST PARK
5. LA CIENEGA PARK
6. CARTHAY CIRCLE PARK
7. HANCOCK PARK
8. PAN PACIFIC PARK
9. ROSEWOOD PARK
10. W.M. HART PARK
11. COLDWATER CANYON PARK
12. WILL ROGERS MEMORIAL PARK
13. SANTA MONICA MOUNTAINS REC. AREA
14. PLUMMER PARK
15. POINSETTIA REC. CENTER
16. WILSHIRE COUNTRY CLUB
17. HOLLYWOOD REC. CENTER
18. DE LONGPRE PARK
19. HOLLYWOOD FRANKLIN PARK
20. WATTLES GARDEN PARK
21. RUNYON CANYON PARK
22. HOLLYWOOD BOWL
23. HOLLYWOOD CEMENTERY
24. ROXBURY PARK
25. ROSEWOOD AVE. SCHOOL
26. WEST HOLLYWOOD SCHOOL
27. HAWTHORNE SCHOOL
28. BERKELEY HALL SCHOOL
29. BEVERLY VISTA SCHOOL
30. MANN SCHOOL
31. FAIRFAX HIGH SCHOOL
32. LAUREL SCHOOL
33. KINGS ROAD PARK

**The Urban Context of the Park.**

The entire Los Angeles region is considered to be park poor with considerably less than the 10 acres of recommended park land for each 1,000 persons. The City of West Hollywood is no exception with an exceedingly low area per capita of park land. The City is surrounded by Los Angeles on three sides and Beverly Hills on the western edge. There are 19 parks or school related recreation facilities within a two mile radius of the park. Although the parks in each city are designed and managed by each municipality, residents of all three cities utilize facilities without regard of ownership.

The master plan addresses the opportunities that West Hollywood Park could realize within the local network of recreation and open space facilities. The plan moves buildings from the center of the park to the edges or to adjacent properties to maximize currently owned land for recreation, both active and passive. Although it is tempting to try to correct the deep deficit in city recreational facilities in this park, we have responded to the citizen's desires for a place of beauty and tranquility as well. We have looked at nearby parks and schools to better understand the distribution of ball fields and sports courts available for use within walking distance or a short trip from West Hollywood Park.

We have also studied the renovation of the Pacific Design Center Courtyard and recent improvements along Santa Monica Boulevard and San Vicente Boulevard that include ornamental plantings in street medians, wide sidewalks and pedestrian scale lighting. These spaces contribute to the City's network of open spaces and are important linkages to the park.



*Santa Monica Boulevard west of the park.*



*Pacific Design Center looking east into the courtyard.*

**Nearby Park and Recreation Existing Facility Survey:**

<b>Facilities</b>	<b>POINSETTIA REC. CENTER</b>	<b>LA CIENEGA PARK</b>	<b>ROXBURY PARK</b>	<b>PAN PACIFIC PARK</b>	<b>HANCOCK PARK</b>	<b>W. WILSHIRE REC. PARK</b>	<b>FAIRFAX HIGH SCHOOL</b>	<b>HOLLYWOOD REC. CENTER</b>	<b>PLUMMER PARK</b>
Tennis Courts	6	16	4	2		1	2		6
Soft Ball		2	1	1			1	1	
Soccer Fields	2	1		2		1	1		
Outdoor Basketball			2	1		1		1	1
Indoor Basketball		1				1			
Volleyball						1			
Swimming Pool								1	
Tot Lots	x	x	x	x		x		x	x
Playgrounds	x	x	x	x		x		x	x
Skate boarding									
Benches / Tables		x	x	x	x	x		x	x
Dog Use Areas						x			
Raquetball									
Auditoriums						x		x	x
Meeting rooms	x		x	x				x	x
Lawn Areas	x	x	x	x	x	x	x	x	x
Fountains/Water Feature					x				
Ornamental Gardens		x	x		x				
Community Gardens									
Running Track							x		



**Precedents and Comparison of Parks in the Area**

There are eleven existing parks and eight schools with recreational facilities within a two mile radius of West Hollywood Park; they are located in the cities of Los Angeles, Beverly Hills and West Hollywood. In summary there are over 28 tennis courts, 16 of them at the La Cienega Tennis Center, 8 ball fields, 8 basketball courts, tot lots, playgrounds, picnic areas, community centers, community gardens and ornamental gardens. The parks in the area span a wide range of types and uses from typical suburban recreational parks to preserved natural areas in the Santa Monica Mountains. Local residents who travel by car have access to a wide range of active and passive recreation facilities. Within only a few minutes drive there are opportunities for lawn bowling, strolling through a sculpture garden, hiking on a canyon trail, digging in a community garden, playing soccer, basketball, tennis or just relaxing on a green lawn. Those who are dependent on walking, public transit or bicycle have fewer options. Residents of all three cities are free to use all of these parks. The pool at West Hollywood park draws swimmers from substantial distances as it is one of the only year round outdoor pools open to the public between Beverly Hills and downtown Los Angeles. A larger year round facility is located in Culver City and a new facility opened at Santa Monica College in the summer of 2002. Skating and skateboarding are activities with great demand and no sanctioned facilities in the local area.

Many of the surrounding parks fall into a single category of recreational park, ornamental garden or natural area. With the exception of Hancock Park, very few of the other parks in the immediate area are located in heavily commercial areas and they do not function as civic spaces for large scale events. It is also difficult to find many examples of parks that combine ornamental gardens, natural experiences, cultural resources and formal recreation. Some of the purely ornamental spaces are used for recreation such as jogging in Beverly Park along Santa Monica Boulevard.





View of park interior pathway, mature trees and bio-swale.



Hancock Park - 31 Acres

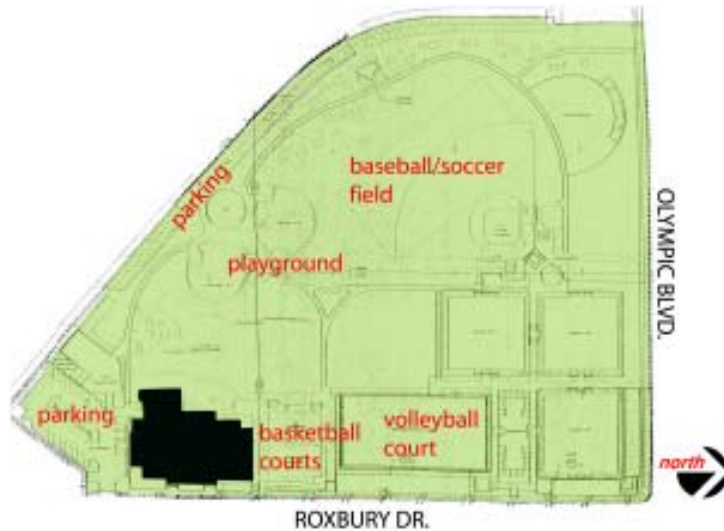
### Hancock Park Los Angeles

The recently renovated 31 acre Hancock Park surrounds the George C. Page Museum and the Los Angeles County Museum of Art. The park integrates gardens, natural areas, educational exhibits and public spaces into a picturesque landscape. Educational exhibits include working archeological and paleontological dig sites and the internationally known La Brea Tar Pits. An amphitheater is utilized for programs sponsored by the County Museum of Art but lack of shade and a western orientation limit the hours of use. A majority of the park is large open lawn areas with pathways connecting to buildings, interpretive sites, parking and the park perimeter. These lawn areas are used for picnics and informal recreation. They are designed to drain into a vegetated bio-swale providing a sustainable alternative to conventional storm water infrastructure and an opportunity for ground water recharge.

There are no structured athletic courts, fields or formal structured play areas for children and local residents have been critical of this deficiency. Still, the park is well used and offers many interesting experiences and a wealth of opportunities for unstructured play. Due to the cultural institutions and interpretive sites in the park the perimeter is fenced and access is restricted outside of park hours. The fence is surrounded by planting on both sides where possible softening the impression of the boundary.



Formal Lawn Bowling along Olympic Boulevard



Roxbury Park - 19.8 Acres.

### Roxbury Park Beverly Hills

Roxbury Park at almost 20 acres, is one of the most popular parks on the west side of Los Angeles. It is popular with children, active adults and senior citizens. The park has a very strong organization based on formal axes and the creation of rooms or zones within the park. Roxbury functions as a neighborhood park for local families and attracts users from a wider local area for little league baseball, picnics and outdoor parties.

The park has excellently maintained tennis courts, basketball courts, a little league ball field and very popular children's play area along with a courtyard community center well utilized by seniors. The park design makes good use of landforms on a relatively flat site to enclose the children's play area providing a sense of security and separation from other areas in the park. A retaining wall around the play area keeps children in the play area and provides a generous amount of seating with direct views of the play equipment. There is a great variety of play structures for all ages from very young toddlers to young teens. A series of meandering paths and formal promenades create a walking and children's cycling circuit throughout the park. Ornamental gardens break up large paved areas adding seasonal color and texture to the park. Large mature shade trees provide ample shade in many areas. Benches and tables are located along the park's western edge under mature trees. Parking for the park is limited to a lot at the south end which is invisible from the interior of the park. Despite a large amount of paved areas in court sports, courtyards, parking and walkways the park has an overwhelmingly green appearance from the public streets that surround it. This has been achieved by maintaining green space on the park perimeters as much as possible. A classical arbor on the north side of the park visible from Olympic Boulevard sets the visual tone of the park as a combination of garden and recreational rooms.





*Children's play area and community center building*



*La Cienega Park - 25.8 Acres*

### **La Cienega Park Beverly Hills**

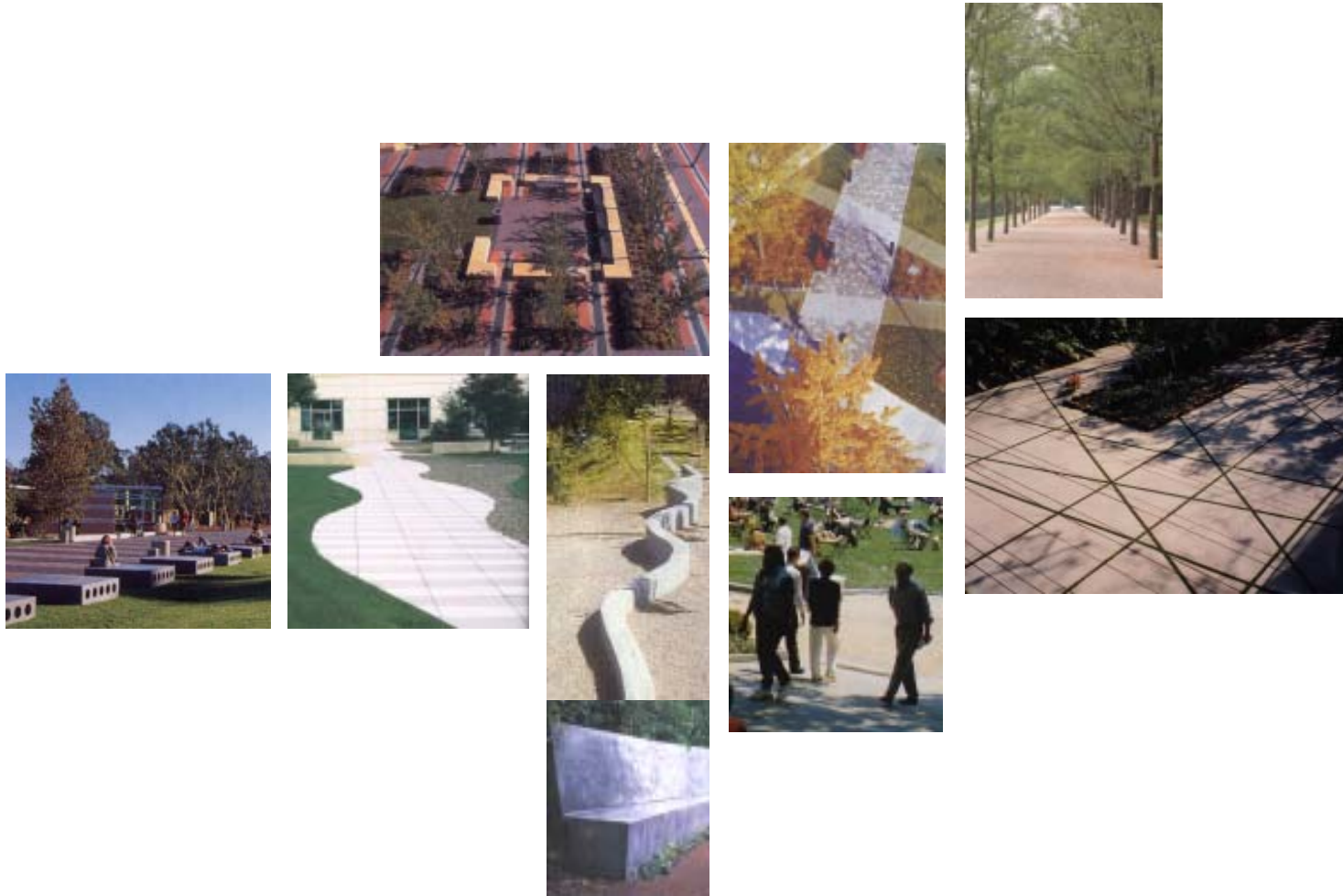
La Cienega Park is comprised of almost 30 acres which includes ball fields, children's play areas, a community center building and a large tennis facility with a parking structure below. The park is located on the east and west sides of La Cienega Boulevard between Olympic Boulevard and Gregory way on the eastern edge of the City of Beverly Hills.

The east part of the park is elevated above the street level with a planted berm connecting the park interior to the sidewalk and creating a green edge along the street. A large playground is located in the north east part of the park with play equipment set in sand. A fenced ball field occupies the southern portion of the park. A field used for AYSO soccer is located in the south east corner of the park. Tables, chairs and benches are located along the pathway at the top of the berm providing places for picnics and table games. A small restroom and community center building is located in the north west corner with convenient access from the children's play area. Pathways in this sector of the park are used for walking exercise.

The western portion of the park includes an informal athletic field used for AYSO soccer and other activities. It is surrounded by built up grass berms and trees creating a green edge along the street and keeping balls confined to the field area. The tennis facility includes 16 courts, a pro shop, restrooms and parking.

The Fairbanks Center for Motion Picture Study, housed in the historic Beverly Hills Waterworks building constructed in 1928 is located in the central portion of the west side of the park. This building contains a research library collection and reading rooms. The area in front of the building is planted with attractive formal gardens adding ornamental gardens to the park.

**GOALS, PRINCIPLES & VISION** WEST HOLLYWOOD PARK MASTER PLAN 2004 - *Appendix III Landscape Plan*  
City of West Hollywood



### Goals, Principles and a Landscape Vision for the Park

West Hollywood Park is a unique place in this small and vibrant city. This park is the agora, the Piazza San Marco and the central park all wrapped up into one small green space. It is the traditional town square where local residents take their kids for a weekend picnic, parents attend play dates for young children, seniors come here for master swimming programs and others come for various classes and programs. In this same physical space the park serves as a regional destination for large scale events such as Christopher Street West, the terminus of the San Francisco to Los Angeles Aids Ride and others. During these moments the park is transformed from a small scale neighborhood space into a world stage with the impact of thousands of people. The presence of thousands of people on turf areas has long term impacts on the park and its maintenance.

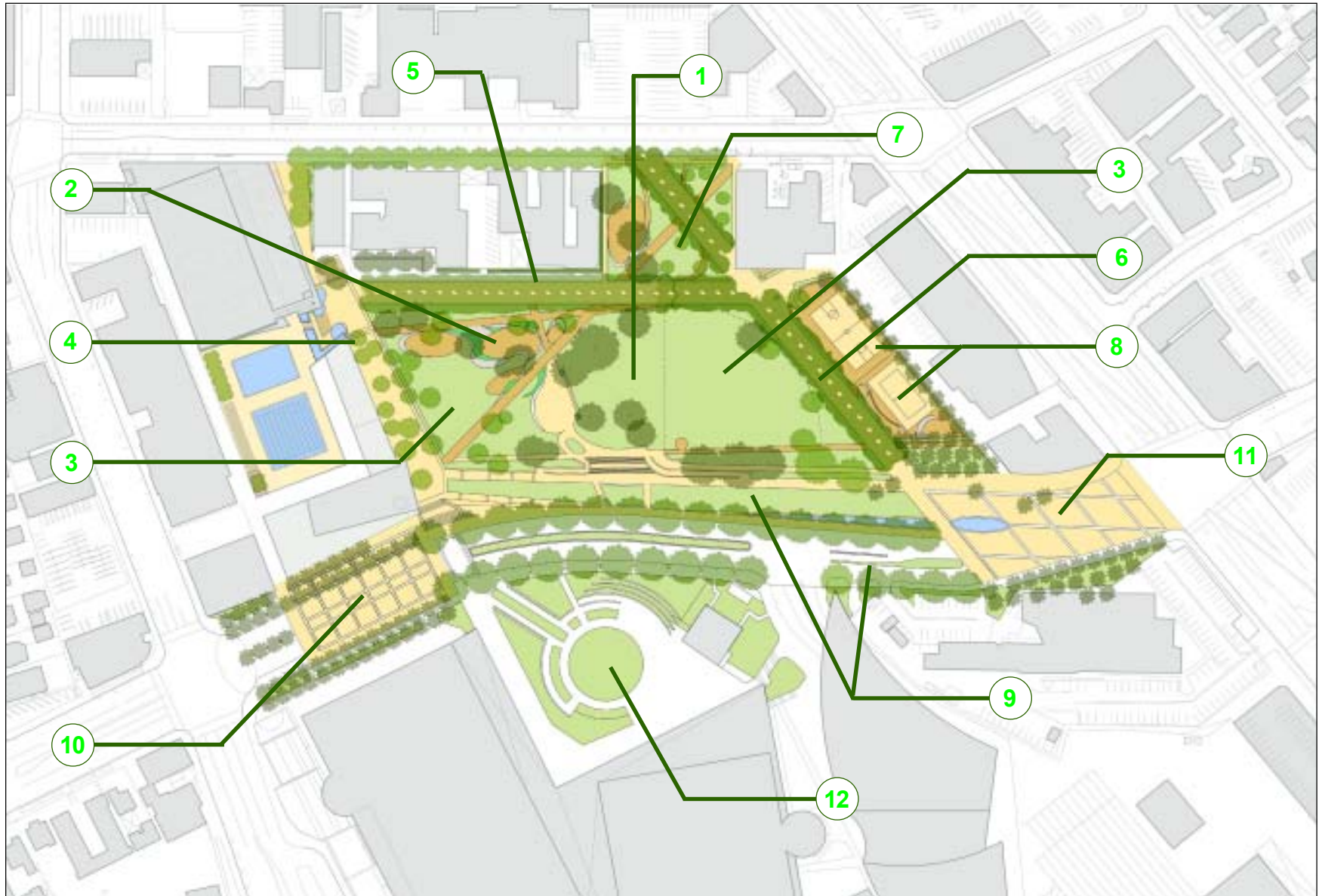
The concepts in this master plan must address the intimacy of the neighborhood park and create a stage for events that will reduce impacts on more sensitive areas. The community forums conducted for this project identified some clear visions for the park and a wide range of desired activities and facilities. The most important component of the vision is a park that is primarily green, especially on the street edges. As existing facilities are evaluated and projects are formulated, the goal of the gardens and greens along San Vicente Boulevard and Robertson Boulevard must be respected. The community also called for a mixture of active and passive uses. This plan strives to achieve this mix and to insure that they can successfully coexist. An important quality of the existing park that was identified as an important quality to maintain in any alteration is the maintenance of the shade canopy created by the existing mature trees. As projects are identified the area of the park shaded by canopy trees should be replaced as early as possible through the planting of trees in areas to remain without grading alterations. Trees varieties must be chosen and locations must be selected to make sure that they will make sense in the ultimate build out of the park. Relocation of trees is relatively expensive and success rates are generally about 50% with some varieties easier to move than others.

This long range master plan strives to satisfy the current needs and desires of the people of West Hollywood and looks to the future to predict as well as possible the activities and facilities the park should contain. Flexibility is a key component of the plan to insure that as park uses evolve the physical characteristics of the park are adaptable.

### Landscape Opportunities

- Expand the central, green heart of the park and make it visible from the surrounding streets.
- Create innovative, creative, educational and accessible play areas for children with ample seating for accompanying adults or caregivers.
- Think of the entire park as potential adventure/discovery play areas for children and provide much desired contact with natural elements of water, vegetation, stone and soil.
- Provide a full range of active and passive uses in the park including areas of quiet respite.
- Incorporate public art into various aspects of the park in play areas, grade transitions, water features, site furniture, lighting, park identity and graphics.
- Expand the recently established Santa Monica ornamental gardens into the park and San Vicente Boulevard.
- Improve the appearance of the park edges through planting and opportunities for adjacent buildings to face into the park.
- Create a promenade in the park for seating, strolling, people watching and small children's mobility toys.
- Create a belvedere along San Vicente Boulevard overlooking San Vicente Boulevard
- Reinforce the connection of the park to the PDC courtyard by narrowing the Boulevard and creating a green canopy of street trees along its length.
- Design grade transitions such as steps, walls, terraced gardens, sloping lawns, ramps and water features to provide seating for park events.
- Create piazzas on the north and south end of San Vicente Boulevard that will function as forecourts to the park announcing entry to the park precinct and containing events and park functions.
- Use allees of trees along adjacent streets to connect to the larger community.





*The New Park*



*The New Park in Context.*

1. **The Upper Park**
2. **The Children's Playgrounds and Tot Lot**
3. **The Meadow**
4. **The South Promenade**
5. **The West Promenade**
6. **The North Promenade**
7. **The Robertson Garden**
8. **Temporary Basketball and Volleyball Courts**
9. **San Vicente Blvd and the Lower Park**
10. **The South Piazza**
11. **The North Piazza**
12. **The PDC Amphitheater and Plaza**

## **The Park Plan: Project Components**

### **The Park Interior**

- **The Upper Park**

- 1 --**The North Meadow**

The north meadow is a temporary open space that will in the future become a building site for mixed use development facing into the park. In the interim it has been envisioned as an area for volley ball and basketball courts. These activities which tend to be louder than others will be located adjacent to the loading and parking zones for the existing commercial uses along Santa Monica Boulevard.

- Alternative locations for additional active recreation such as volleyball or basketball.
    - Screen views of adjacent buildings

- 2 --**The Heart of the Park**

The most active part of the park will be the central area that includes play equipment for toddlers and older children, seating and tables for picnics and other types of gatherings. A number of the existing qualities of this area should be maintained such as the intimate scale of the space, the ability to see many play areas from one central location, level areas for seating and picnics and restrooms in close proximity. The play area for the youngest children will be separated from the rest of the park by vertical barriers. These barriers could be decorative fences, hedges, walls or other devices. Shade for the play structures is essential. This can be accomplished with fabric canopies in the short term and trees in the longer term. This area of the park will retain foot traffic from the surrounding streets providing a sense of population and observation.

- Create opportunities for adventure and discovery play
      - Provide shaded seating close to play equipment
      - Provide shade for play elements
      - Design play area containment as a decorative or garden feature
      - Encourage circulation through the area
      - Create a sense of enclosure while maintaining views into the larger park.

### **3--The South Meadow**

A large open meadow will allow for informal play and large scale picnics and events. Ideally the slope of the meadow should be a maximum of 3 % while allowing for surface drainage. The area should be crowned with drain fixtures on the edges to reduce possible conflicts with concrete and metal drainage structures and play. Turf in this part of the park should be selected for viability with varied sun and shade conditions and the ability to stand up under frequent use. Good surface drainage and proper soil preparation will insure the success of the turf. The meadow is adjacent to the terrace flanking the library, family recreation center and community rooms. Planting along the edge of the meadow should allow views from ground floor spaces into the park. The Master Plan considered the opportunity to structure the park in a manner to transfer the more active programmed uses such as softball or soccer to the northern portion of the central open space. The advantages of this strategy included less conflict between organized sports games and small children and toddler areas. Toddler areas could also be located closer to the community recreation building offering more convenient restrooms and greater staff observation.

- Flexible play areas
- Areas for large picnics or gatherings
- Requires engineering for excellent drainage to insure turf success
- Maintaining views into and out of the library and community spaces will increase the sense of security in the park

### **4--Robertson Green**

The Robertson green is outside of the active part of the park and will provide a quiet area for seating and contemplation. An ornamental garden of substantial size could be developed here. A grove of trees would provide shade from the afternoon sun. Seating should be provided with these uses in mind. Furniture could be selected and positioned within smaller garden rooms. A focal element such as a water feature, public art or ornamental planting could be incorporated.

- Create a quiet environment with seating and shade
- Develop a focal point such as an ornamental garden or water feature(s)
- Encourage circulation through this area and maintain visibility into the green from the street edge to insure park safety. Select trees with high canopies to maintain views into the park.
- Treat the building edges of the space as garden walls with plantings or other devices to screen wall surfaces.



*Large flexible lawn areas.*



*Paved areas can function as event spaces and forecourts to the park.*



- **The Lower Park**

- **5--San Vicente Promenade**

A generous planting area for the mature ficus trees parallel to San Vicente Boulevard will be created along a widened sidewalk creating an expansive promenade. Gardens within the zone adjacent to the street will convey a sense of the green park interior. An elegant series of walls, stairs and ramps will connect the lower park to the upper park, provide gracious access and separate the active zone of the park from the more passive lower park dedicated to the art of strolling and people watching along a grand boulevard. The lower park should contain ample seating and focal points. A convenient and comfortable transit stop will serve the library and the park as a whole.

- Create a generous promenade along San Vicente Boulevard
    - Develop a grand scale transition with universal access to upper park
    - Create a generous zone for the existing mature Ficus Trees
    - Create a comfortable and convenient transit stop.
    - Establish and reinforce the visual, pedestrian connections between the Park, Santa Monica Boulevard and the new Library entrance.
    - Build in the infrastructure for temporary street closures and special events such as Christopher Street West.

- **6--The Piazzas**

Courts announcing the entrance to the park precinct will be created at the intersections of San Vicente Boulevard, Melrose Avenue and Santa Monica Boulevard. These two spaces will be designed to accommodate intensive uses when San Vicente Boulevard is closed to vehicular traffic for events. The courts will be created through the use of special paving materials to create patterns or frames and the introduction of vertical elements such as bollards, light fixtures or trees on their edges. The design of these spaces will allow a seamless flow across the courts onto the adjacent promenade and into the park. The courts should be designed with infrastructure to support periodic street closures and special events such as electrical outlets, water sources, adequate levels of lighting for nighttime uses and technology connections.

- Create forecourts to the park precinct.
    - Develop spaces for community events.
    - Develop vehicular pick up and drop off in the piazzas.



*Seating and ornamental gardens along the street edges of the park will maximize use of the park and provide a green edge.*



*Tall headed canopy trees allow views into the park.*

## 7--The Promenades

Interior promenades will afford the opportunity to stroll through the park, maintain connections between San Vicente Boulevard and Robertson Boulevard and connect to Melrose Avenue and Santa Monica Boulevard. The canopy tree lined promenades must be designed with sufficient width to accommodate substantial trees on both sides, seating, space for people walking, kiosks, and kids with mobility toys such as tricycles or push toys. The promenades will function as linear spaces as well as circulation routes through the park.

- Treat the promenades as linear rooms for circulation, seating and play.
- Line the promenades with large canopy trees.
- Provide ample seating within the promenades.
- Consider the use of permeable paving materials or create bio-swales to filter drainage from paved areas.



*Promenades should be designed with generous paved areas and wide tree canopies. They could expand into use areas such as the children's play areas.*



*Regularly spaced, linear tree allees will strengthen the promenade axes and reinforce vistas.*

## General Elements

### Site Grading and Transitions

The goal of the park design is to create 5 distinct topographic zones that are as level as required for greatest functionality. The existing general north-south and west to east site slope will be retained for site surface drainage. Drainage fixtures in the park should be located outside of play area where possible. Where drains occur in paved areas fixtures should incorporate park design themes. The park should achieve as much ground water recharge as possible through the use of permeable surfaces and detention in the large meadow areas or other planted areas.

Transitions between the park zones will be compressed into walls, steps, terraces, seat walls, water features, ramps or sloped planting areas. The transition elements are compressed to allow the greatest amount of space possible for functional park space. Where transitions are required they should be universally accessible and designed as elements of the overall park vocabulary. They may incorporate public art or provide functional seating.

- Design universally accessible grade transitions
- Design transitions efficiently to allow for maximum use of park space.
- Maintain positive surface drainage and incorporate drainage fixtures in the design themes of the park.
- Filter storm water before it reaches municipal systems and create on site ground water recharge where possible.

### Paving Materials

Paving materials should be selected for function, durability and potential to achieve park design themes. Piazzas will provide opportunities for creating decorative patterns or frames using materials with durability under heavy vehicular traffic. These materials may include precast concrete pavers, cast in place concrete paving or a combination of these materials. Patterns or frames should emphasize spatial definition and may be supplemented by the planting of trees, bollards or other elements that assist in defining the space.

Promenade paving has no vehicular traffic and can consist be lighter duty including asphalt unit pavers. The surface of these walkways should be smooth for the most comfortable experience by wheeled users.

Minor walkways may be permeable materials such as T-Nap or stabilized decomposed granite.

- Piazzas will require decorative yet highly durable materials
- Piazza paving patterns must emphasize a sense of space
- Promenade materials should be a smooth surface for wheeled users.
- Minor walkways may be permeable materials.

### Play Areas

Although the central zone of the park is intended to be the most active, and will have elements specifically designed for children's play the entire park should be thought of as opportunities for adventure and discovery play. Child development studies have found that children enjoy discovery, adventure and experiencing natural elements during play. Various areas of the park can provide contact with water, vegetation, stone, metal and other materials. In the areas specifically designed for active play elements should be located to separate younger and older children while allowing visibility of both areas from one vantage point. Shade should be provided for all seating and play elements. In the short term shade may be provided by fabric canopies. In the longer term shade may be provided by canopy trees. Local codes and guidelines must be followed in the design of safe play elements and surfacing. Avoid the use of woodchips or other problematic materials. Restrooms should be located in close proximity to play areas to insure a safe secure environment. Play areas for the youngest children should be surrounded by a containment system that may be decorative fencing, hedges, walls or other types of barriers.

- Create play opportunities throughout the park
- Provide contact with water, vegetation and other natural materials
- Create age specific play areas
- Provide shade and seating close to play areas
- Maintain visibility between play areas and the rest of the park.
- Provide restrooms in close proximity to play areas
- Follow local codes and guidelines in play area design
- Design play area containment within the park design themes, as art elements or garden elements.



### **Fencing and Rails**

Fencing and railings in the park must adhere to local building codes at grade transitions. Fencing around play areas, maintenance areas or on the park perimeter may be designed as planted elements, solid walls or decorative fencing. Railings may be sculptural elements or part of a public art program.

- Adhere to local codes for fences and railings.
- Design perimeter or screening fencing as garden or decorative elements.
- Railings and balustrades may be sculptural or part of the public art program.
- Soften grade transitions, focal elements, to relate the swimming facilities to the rest of park or as play elements.

### **Water Features**

Water is a vital universal element constituting a majority of our human and global composition. The affinity we feel for this material with such plastic reflective, refractive, sculptural and restorative qualities is unparalleled. The beauty of water is complemented by a cultural history of physical development based on sustenance, agriculture and transportation. Natural water bodies and man made elements such as infrastructure have been translated into decorative fountains and water features in parks and gardens throughout their history. Water is a precious element akin to fine art signifying possession of resources and appreciation of beauty. In desert climates like southern California there are complex social conditions that affect how water is used and perceived in the landscape. During periods of drought the use of water in decorative elements has been curtailed. Water feature mechanical systems have evolved to achieve higher efficiency using recirculation and reclaimed sources. Water features can be designed to reduce water loss through evaporation. Reflection pools and other bodies lose less water to evaporation than jets, cascades or other vertical elements.

Water elements in West Hollywood Park should be designed to take full advantage of the potential qualities of water including reflective surfaces, movement, sound, lighting effects, wind motion, color and depth. Water elements can divide spaces, create visual or physical axes or link spaces. They can greatly enhance grade transitions, expand the sense of a space or mask negative elements inside or outside the park. Water should be a tactile

element providing opportunities for cooling off on hot days and exploration and education for young minds. We should also plan for animal life in the park, both wild in the case of birds that could drink and bathe in water elements and domestic animals such as dogs whose owners will look for safe places for their pets to drink from.

Water elements must be designed with safety in mind and adhere to all local codes relating to disabled perception of water bodies and general safety. Most ornamental pools and water bodies can be designed with shallow depths to increase safety and reduce water volume. Water elements should also be designed to discourage undesirable uses.

Water elements should:

- Animate the park through sound and movement during the daytime and at night
- Provide tactile contact
- Assist in shaping spaces in the park
- Act as focal points
- Be designed as water efficient systems
- Be designed with safety in mind

### **Park Maintenance**

The master plan recommends an expanded maintenance facility in close proximity to San Vicente Boulevard for equipment and delivery access. The yard should contain space for materials storage, equipment storage, plant materials, a maintenance office with a restroom and covered shop for equipment repairs and other minor work. The facility will require all major utilities except gas. The yard will need to be secured from the rest of the park by fencing or walls with access gates. The yard and associated building should be integrated into the park design using consistent materials and appropriate massing.

As the park evolves over time maintenance of outdoor facilities will be critical to their success. All of the park components will require short term and long term maintenance from tree pruning and lawn mowing to repair of play structures and periodic cleaning of water features. As the features in the park are designed conversations need to take place to insure that the city has the resources required in terms of knowledge and budget to make sure that the park looks and functions as intended in the design process.

### Planting Design Guidelines

Planting design will be one of the most critical factors in developing a particular character for the park. When we think of other well known parks it is often the vegetation that creates the strongest memory of the place. In New York's Central park it is the sweeping lawns and towering deciduous trees that comprise one's mental image. In San Diego's Balboa park it might be Fan Palms or Olive trees suited to the Mediterranean climate. In West Hollywood Park the planting design must support the structure of the park, creating a larger open green space articulated as a series of sub-spaces, rooms or zones. There are opportunities for a wide range of plant types and styles but the smaller parts must be woven together to make a complete tapestry within the park.

In the public forums conducted as a part of this project a number of criteria and issues were raised on this subject. Many individuals expressed a desire that the park have green edges on the adjacent streets. When asked to comment on potential plant materials in the park a number of people identified native plants and drought tolerant planting as themes they were interested in. At every forum requests were received to preserve as many existing trees as possible in the future.

Plants should be long lived and maintainable by the park maintenance staff. These guidelines do not identify specific plant species or styles of planting design. They are intended to provide criteria to allow future qualified design professionals to develop their own planting palettes and concepts.

- **Turf Systems**

The two large meadow areas are intended to host a variety of uses from casual ball playing to picnics and large scale events. Turf systems should be designed with superior drainage to allow maximum use of the areas following irrigation or precipitation without damage. Turf varieties should be selected to withstand consistent use and varying exposures of sun and shade. Subbase preparation could include the use of sub-drainage and/or sand cap systems to allow relatively level grading.

- **Ornamental Plantings**

Selected plant materials should be long lived and maintainable by park staff. Plants may be selected for their ability to attract or host interesting wildlife like humming birds and butterflies. These plants may be native, drought tolerant or acclimated to the southern California climate. Plants selected for hedges and screening should be relatively fast growing evergreen species. Flowering plants should be selected for length of bloom and other potentially interesting features such as foliage color or texture. As the park is frequented by young children the use of poisonous species should be avoided.

- **Trees**

Trees will be the walls and roofs of the park rooms. They will punctuate the promenades, provide shade for seating and play areas, and create buffers between the park and adjacent buildings. Canopy trees should be selected to provide shade in picnic areas, over play structures and along promenades. Their spacing should be determined by their mature size insuring that they will not overcrowd one another after their initial planting. Trees with excessive fruits or heavy cones should be avoided. Flowering trees should be planted in groves or groupings that maximize the impact of their seasonal bloom.

Trees planted in lawn areas should have mulch maintained over the root ball to avoid damage from lawn maintenance. Trees planted in paved areas, including street trees should have generous root areas. Species with surface roots that lift and damage paving should be avoided. When root barriers are utilized they should be placed at the edges of the surrounding pavement far enough from the rootball to insure sufficient root area for the life of the tree.

The park is endowed with a great number of existing trees of many species. As specific projects are identified existing trees should be evaluated on a case by case basis to determine feasibility of maintaining them in their current location, relocation or if necessary, removal. In some cases the cost of preserving or relocating trees will be outweighed by the efficiency of planting new trees.





**Tree Preservation and Relocation Feasibility in West Hollywood Park**

Trees within West Hollywood Park that will lend themselves to root pruning and construction related encroachment within the drip line are the Ficus species. Roots can be cut as close as 8 feet to the trunk of even the very biggest trees. Ficus are also excellent candidates for relocation. The massive *Platanus racemosa* in the front of the park, if determined sound, can also accommodate encroachment within the drip line.

The best off-site relocation candidates in terms of quality, transplant viability and cost effectiveness are the *Brachychiton discolor*, *Charnaerops bumilis*, *Archonrophenix cunninghamiana*, *Strelitzia nicolai*, *Bauhinia blakeana* and *Callistemon viminalis*.

Trees on-site that are not recommended for relocation include *Morris alba*, *Alnus rhombifolia* and *Pittosporum undulatum*.

Appendix III Landscape Plan - WEST HOLLYWOOD PARK MASTER PLAN 2004 **TREE PRESERVATION/RELOCATION**  
 City of West Hollywood

<i>Quantity</i>	<i>Size</i>	<i>Description</i>	<i>Remarks</i>	<i>Unit Cost</i>
(1).....	192"	Ficus nitida.....	Move on-site.....	\$25,000
(1).....	168"	Ficus nitida.....	Move on-site.....	18,000
(9).....	156"	Ficus nitida.....	Move on-site.....	15,000
(7).....	144"	Ficus nitida.....	Move on-site.....	10,000
(1).....	120"	Ficus nitida.....	Move on-site.....	8,000
(1).....	168"	Ficus elastica.....	Move on-site.....	20,000
(1).....	180"	Platanus racemos.....	Move on-site.....	22,000
(2).....	168"	Ulmus parvifolia.....	Move on-site.....	18,000
(2).....	144"	Ulmus parvifolia.....	Move on-site.....	10,000
(1).....	144"	Pinus canariensis.....	Move on-site.....	10,000
(1).....	132"	Pinus canariensis.....	Move on-site.....	9,000
(1).....	120"	Pinus canariensis.....	Move on-site.....	8,000
(1).....	108"	Pinus canariensis.....	Move on-site.....	5,000
(2).....	96"	Pinus canariensis.....	Move on-site.....	3,000
(1).....	144"	Erythrina sykesii.....	Topped on-site.....	10,000
(1).....	168"	Morris alba.....	Demo.....	18,000
(1).....	144"	Morris alba.....	Demo.....	10,000
(3).....	108"	Morris alba.....	Demo.....	5,000
(4).....	96"	Pittosporum undulatum.....	Demo.....	3,000
(1).....	60"	Pittosporum undulatum.....	Demo.....	1,000
(1).....	108"	Koelreuteria.....	Move off-site.....	5,000
(2).....	96"	Brachychiton discolor.....	Move off-site.....	3,000
(2).....	84"	Brachychiton discolor.....	Move off-site.....	2,500
(2).....	84"	Agonis flexuosa.....	Poor/demo.....	2,500
(2).....	120"	Magnolia grandiflora.....	On or off-site.....	8,000
(1).....	108"	Magnolia grandiflora.....	On or off-site.....	5,000
(2).....	96"	Magnolia grandiflora.....	Poor form.....	3,000
(1).....	96"	Magnolia grandiflora.....	On or off-site.....	3,000
(1).....	84"	Magnolia grandiflora.....	On or off-site.....	2,500
(2).....	72"	Magnolia grandiflora.....	Poor/demo.....	0
(1).....	60"	Magnolia grandiflora.....	Poor/demo.....	0
(1).....	108"	Calodendrum capense.....	On-site.....	5,000
(2).....	72"	Chamacrops humilis.....	On or off-site.....	2,000
(1).....	60"	Chamacrops humilis.....	On or off-site.....	1,000
(1).....	48"	Chamacrops humilis.....	On or off-site.....	600
(1).....	84"	Olea europaea.....	On or off-site.....	2,500

**The Tree Preservation/Relocation Summary Chart.** The costs outlined above are current for the year 2004 and for preliminary budgeting purposes only. They reflect boxing and storing trees on-site. For direct relocation costs add 15% to the below unit cost and for replanting of stored trees add 35% to below cost.

**ACKNOWLEDGEMENTS** WEST HOLLYWOOD PARK MASTER PLAN 2004 - *Appendix III Landscape Plan*  
*City of West Hollywood*

**City of West Hollywood City Council**

John Duran, Mayor  
Abbe Land, Mayor Pro-Tem  
Sal Guarriello  
John Heilman  
Jeffrey Prang

**City of West Hollywood Parks Master Plan Steering Committee**

Catherine Hahn	Chair
Susan Pinkus	Vice-Chair
Sal Guarriello	Mayor
John Heilman	Citycouncil Member
Jim Ballard	Council Office Appointee
Donna Feinstein	Council Office Appointee
Steven Karash	Council Office Appointee
Rod MacDonald	Council Office Appointee
Gene Smith	Council Office Appointee
John D'Amico	Human Services Commissioner
Ric Abramson	Public Facilities Commissioner
Steven Greene	Public Facilities Commissioner
Roy Huebner	Public Facilities Commissioner
Thomas Jones	Public Facilities Commissioner
Bud Siegel	Public Facilities Commissioner
Ric Rickles	Senior Advisory Board Member
Gennady Razumov	Russian Advisory Board Member
Suzanne Dietrich	Disability Advisory Board Member
Brad Torgan	Planning Commissioner
Ruth Williams	Project Area Committee Member

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Beth Smith	Recreation Coordinator
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